

DISCLOSURE PLAN FOR PROPOSED LOT 1001

This plan shows:

Details of Proposed Lot 1001 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Brisbane Office
Level 1
18 Little Cribb Street
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PO Box 1399
Milton Qld 4064

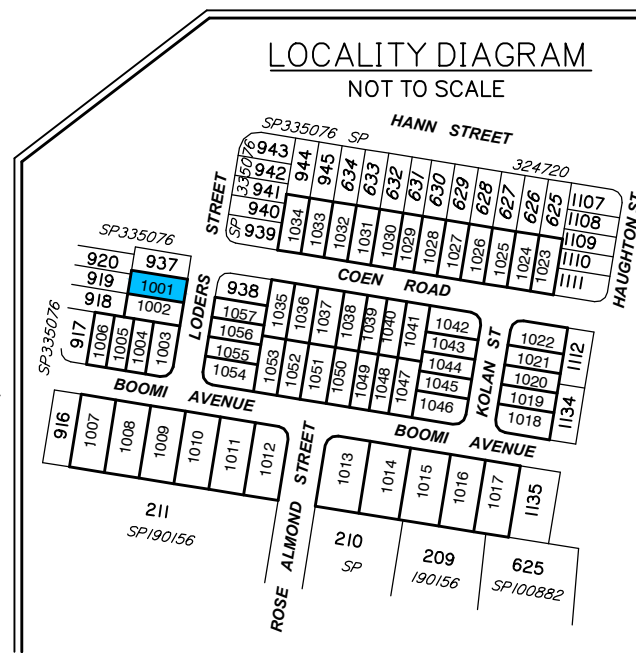
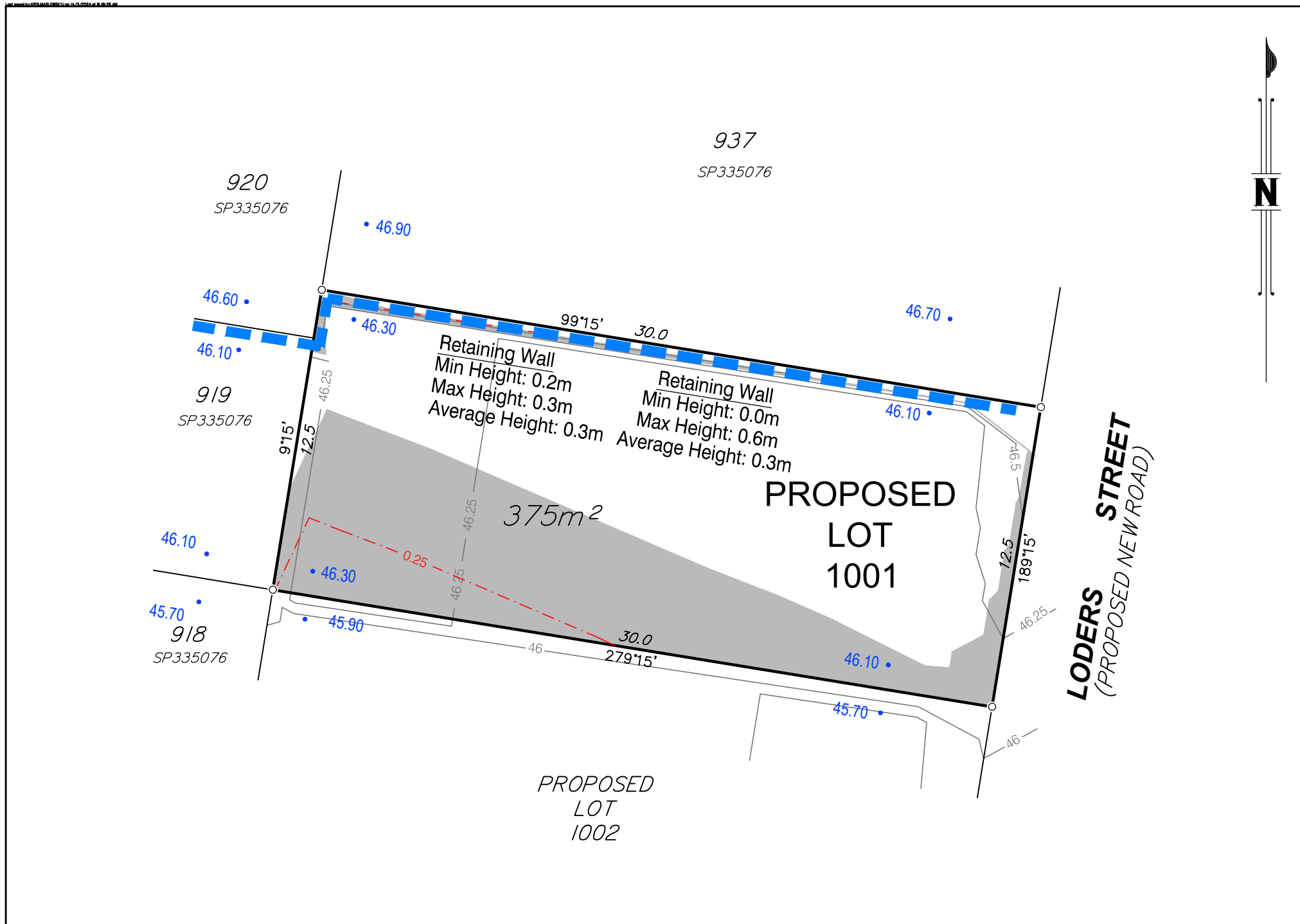
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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 006 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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DISCLOSURE PLAN FOR PROPOSED LOT 1002

This plan shows:

Details of Proposed Lot 1002 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as:

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD

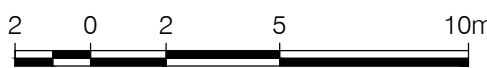


LANDPARTNERS
surveyors and planners

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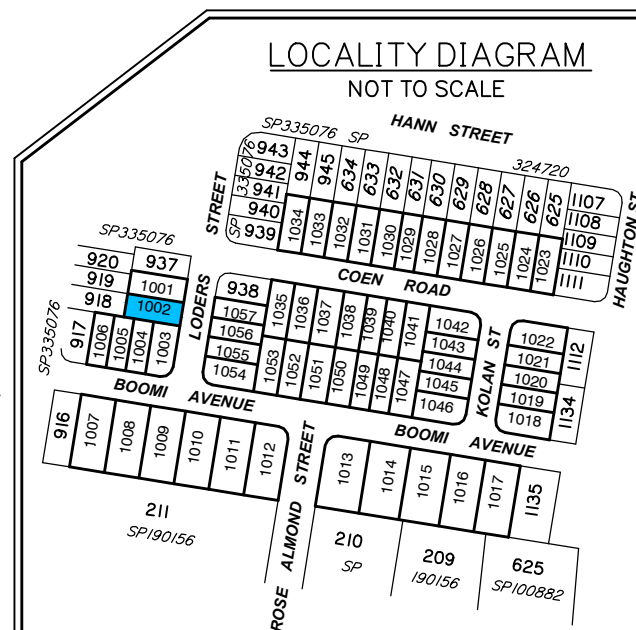
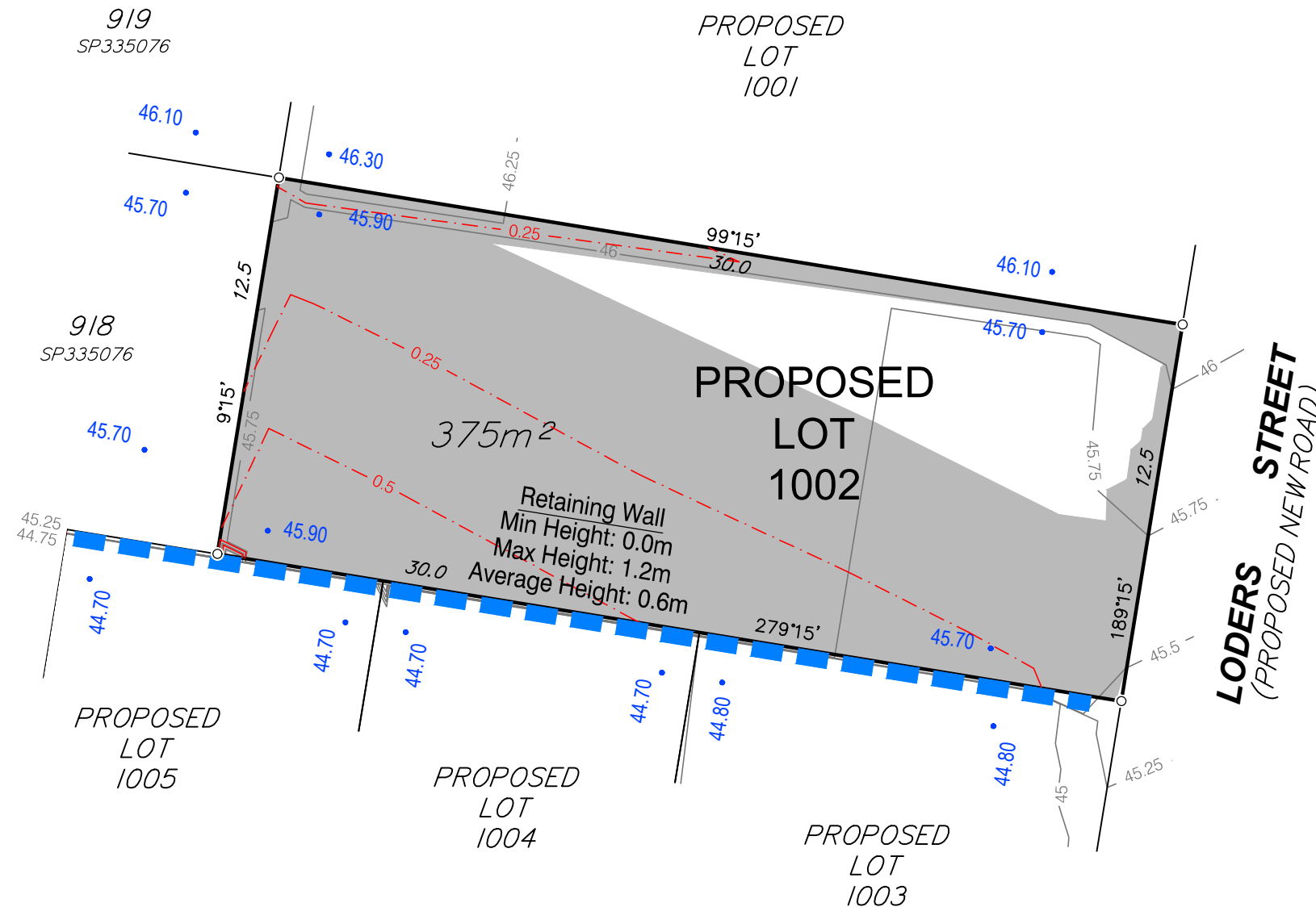
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| COMPUTER FILE | BRSS7455-010-5-1 | | |
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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



SCALE 1:200 @ A3

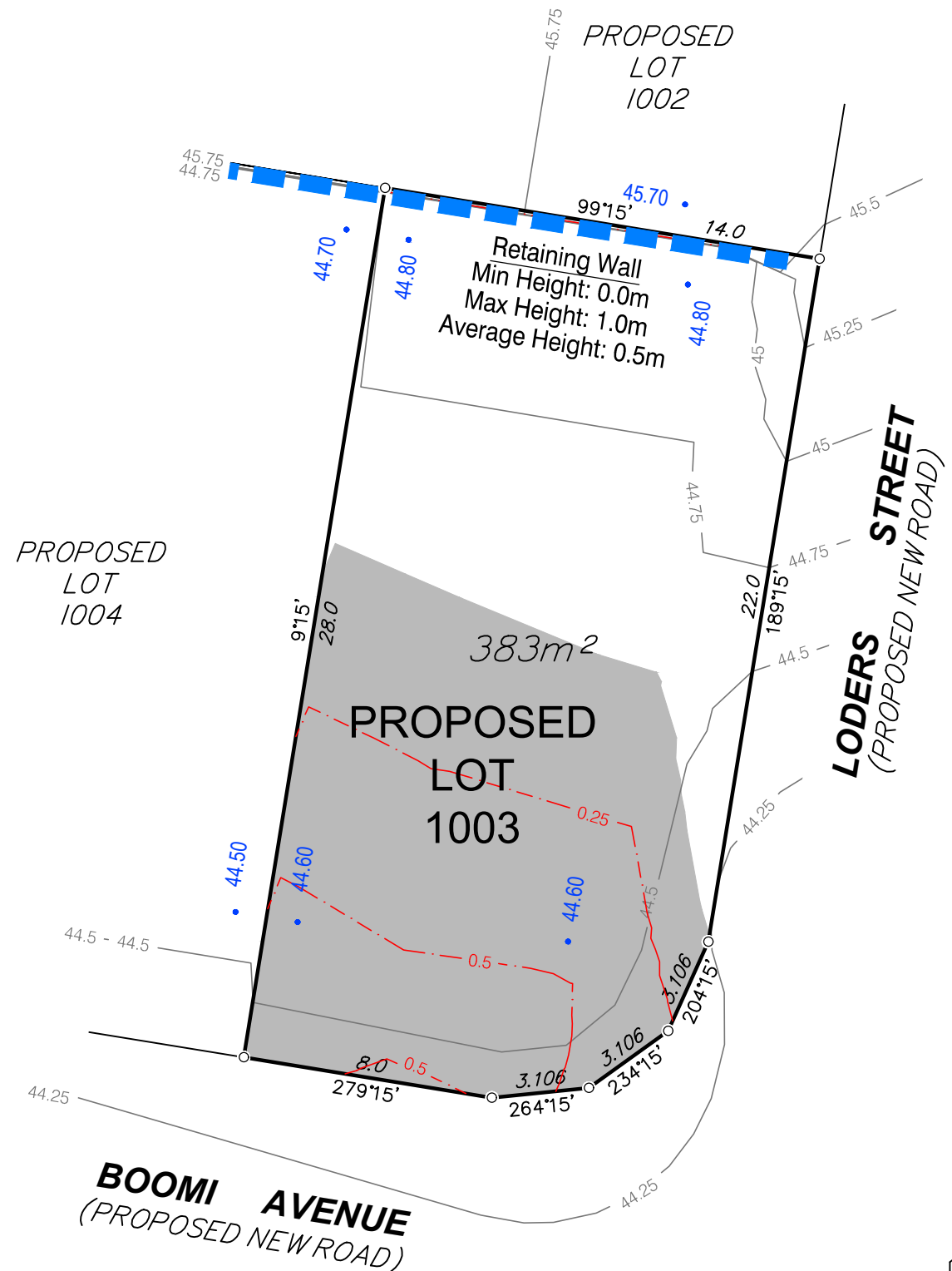
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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |
| UDN | BRSS7455 - 010 - 007 - 1 | | |



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NOTE:
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DISCLOSURE PLAN FOR PROPOSED LOT 1003

This plan shows:

Details of Proposed Lot 1003 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

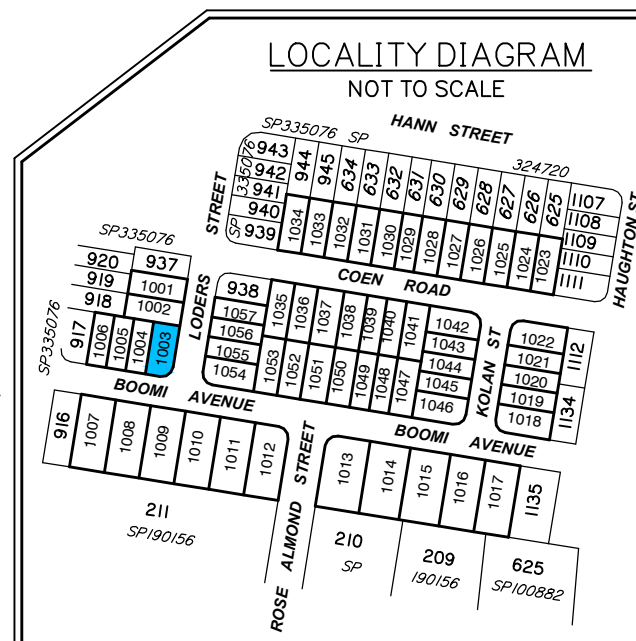
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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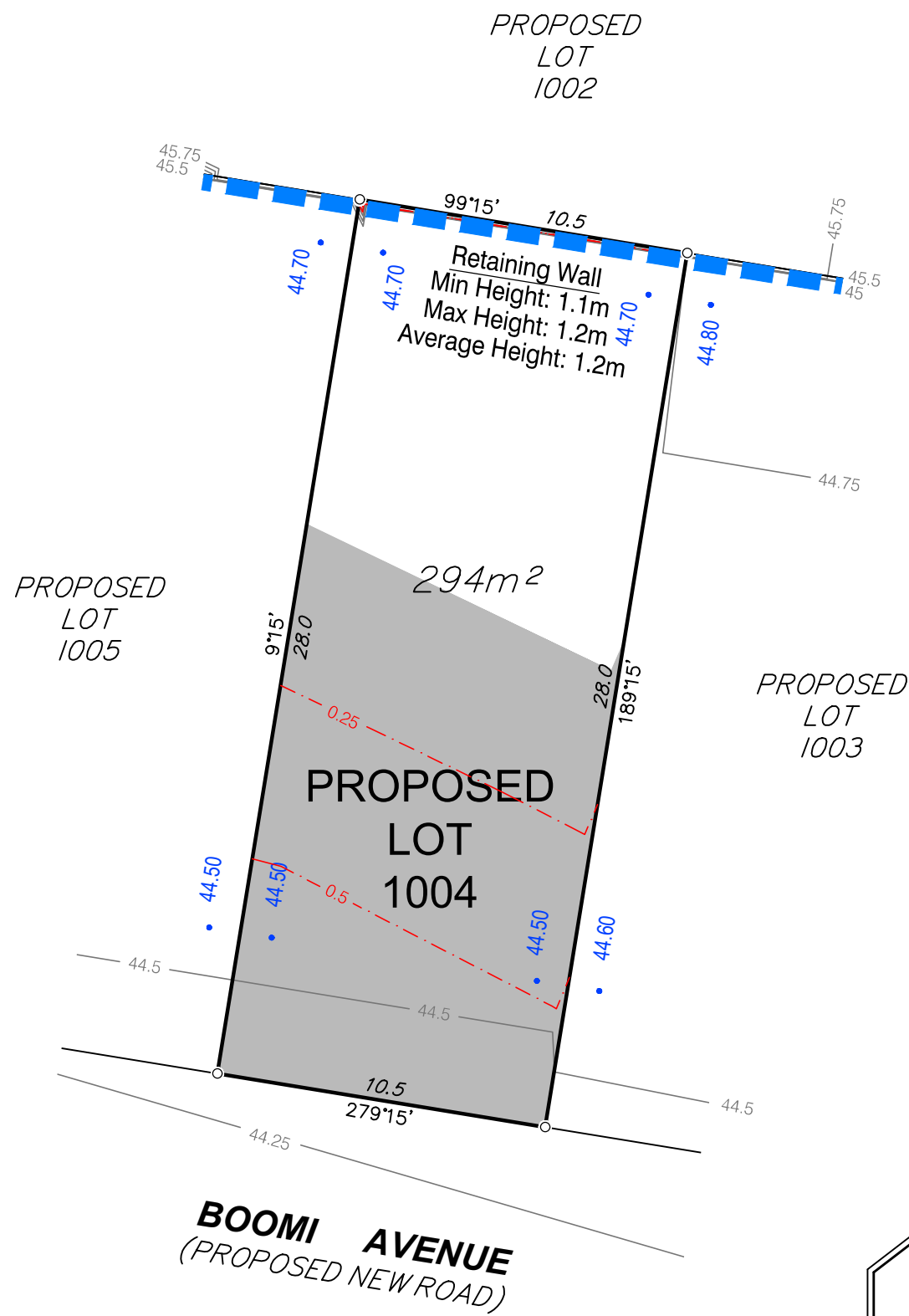
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SCALE 1:200 @ A3

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| DRAWN | KDM | DATE | 17/08/2023 |
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| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 008 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1004

This plan shows:

Details of Proposed Lot 1004 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

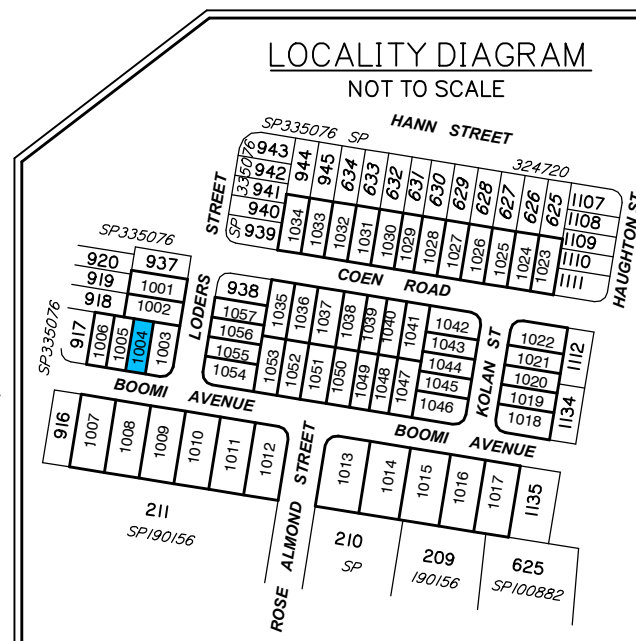
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

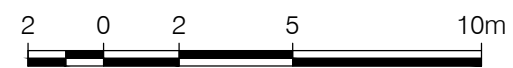
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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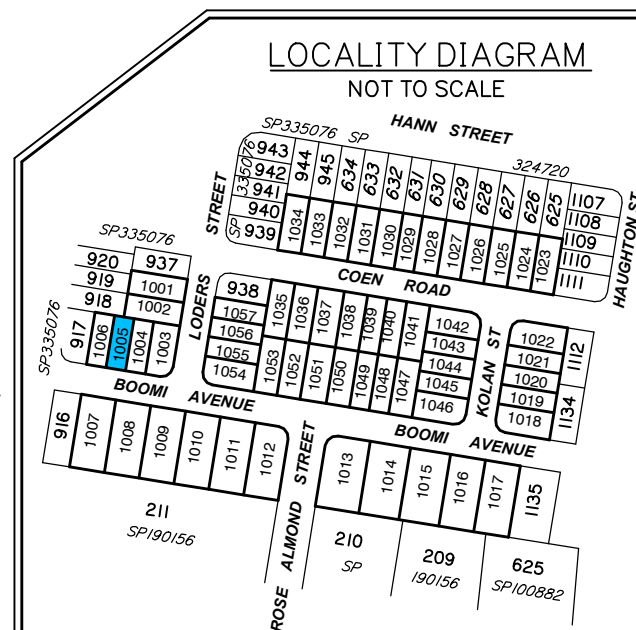
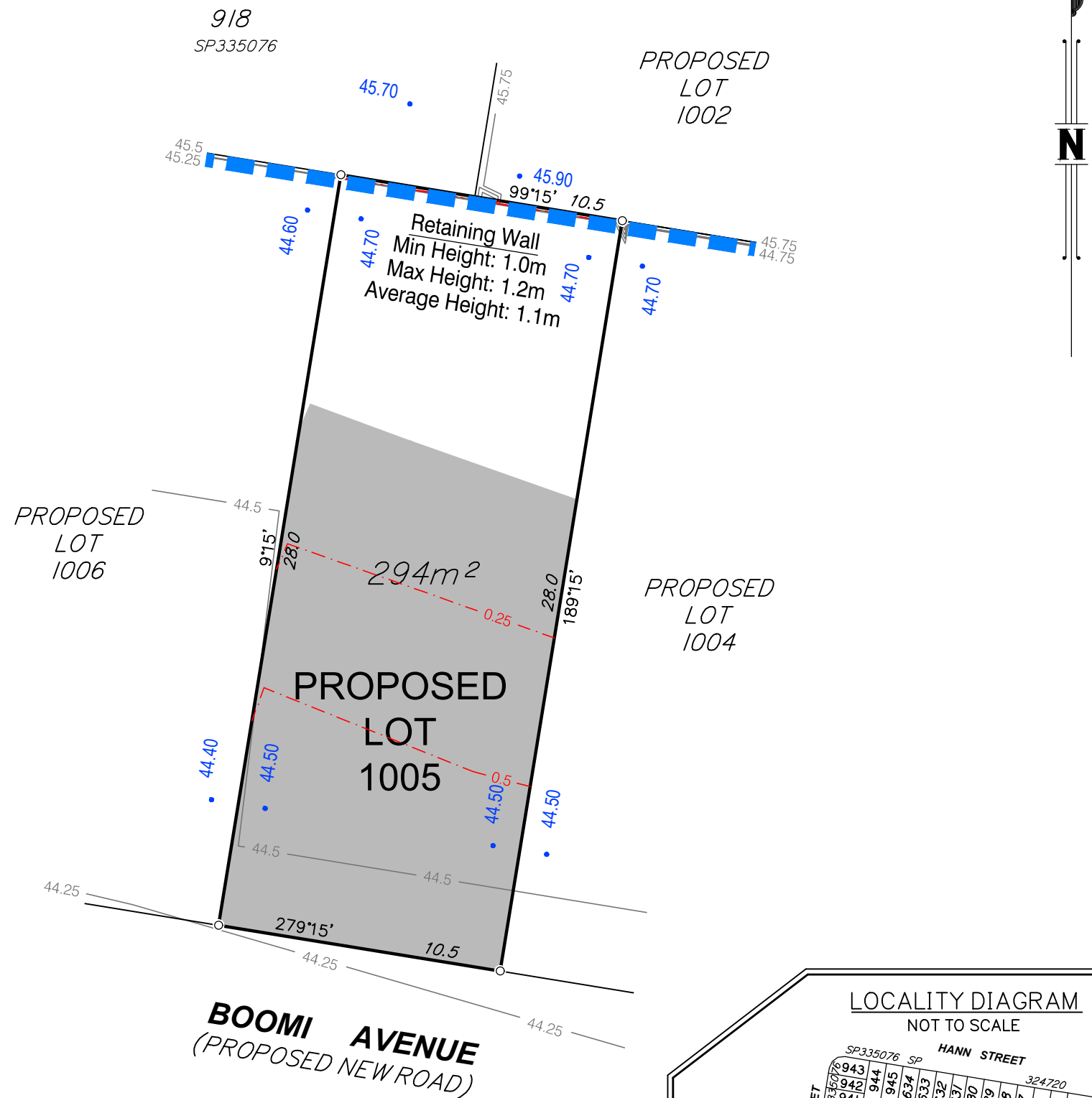
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SCALE 1:200 @ A3

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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 009 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1005

This plan shows:

Details of Proposed Lot 1005 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:200 @ A3

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| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 010 - 1

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Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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DISCLOSURE PLAN FOR PROPOSED LOT 1006

This plan shows:

Details of Proposed Lot 1006 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.8m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



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Milton Qld 4064

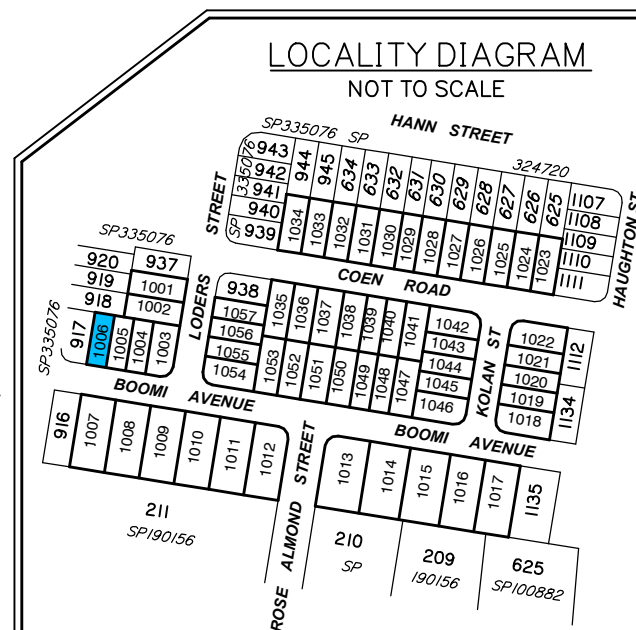
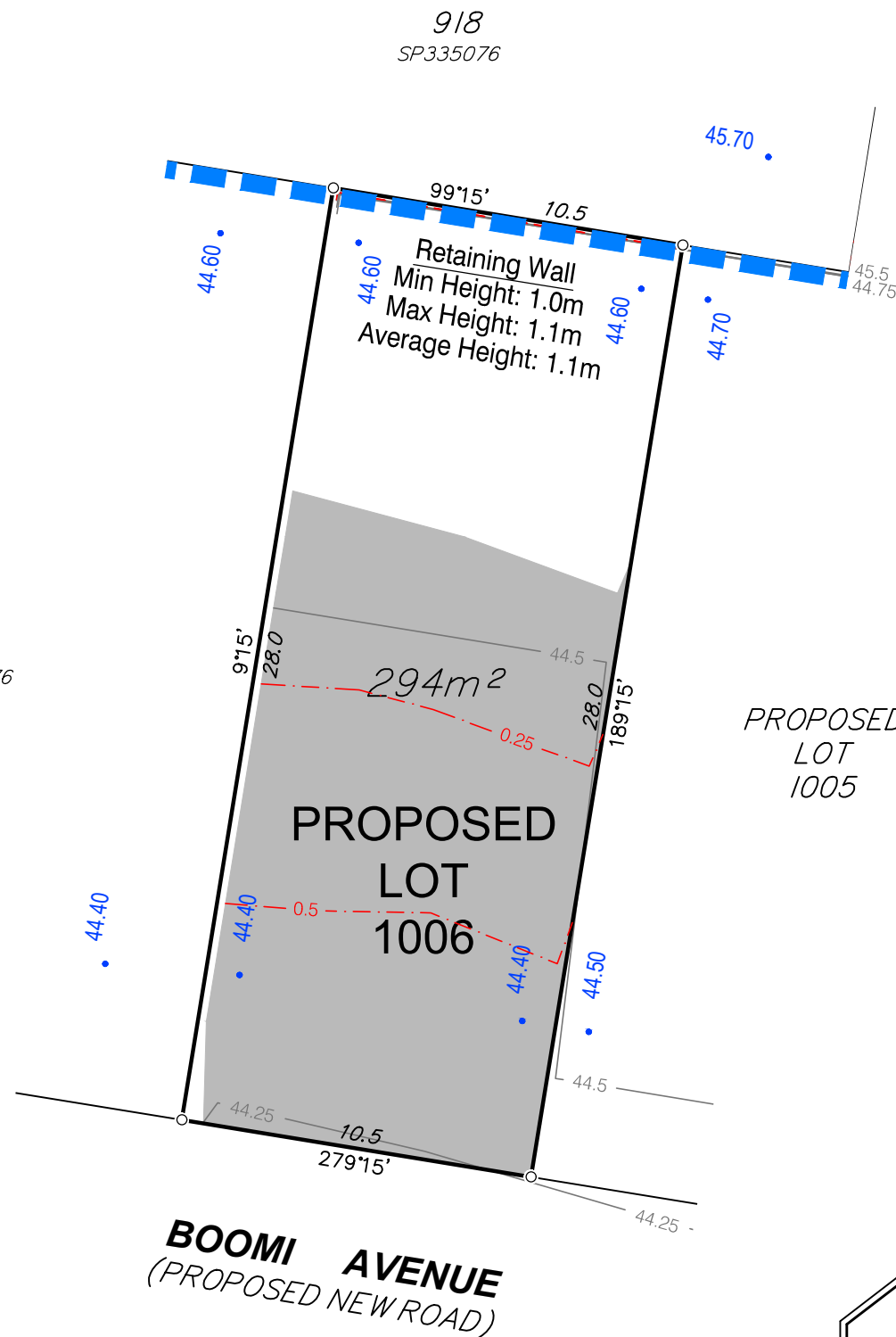
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SCALE 1:200 @ A3

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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

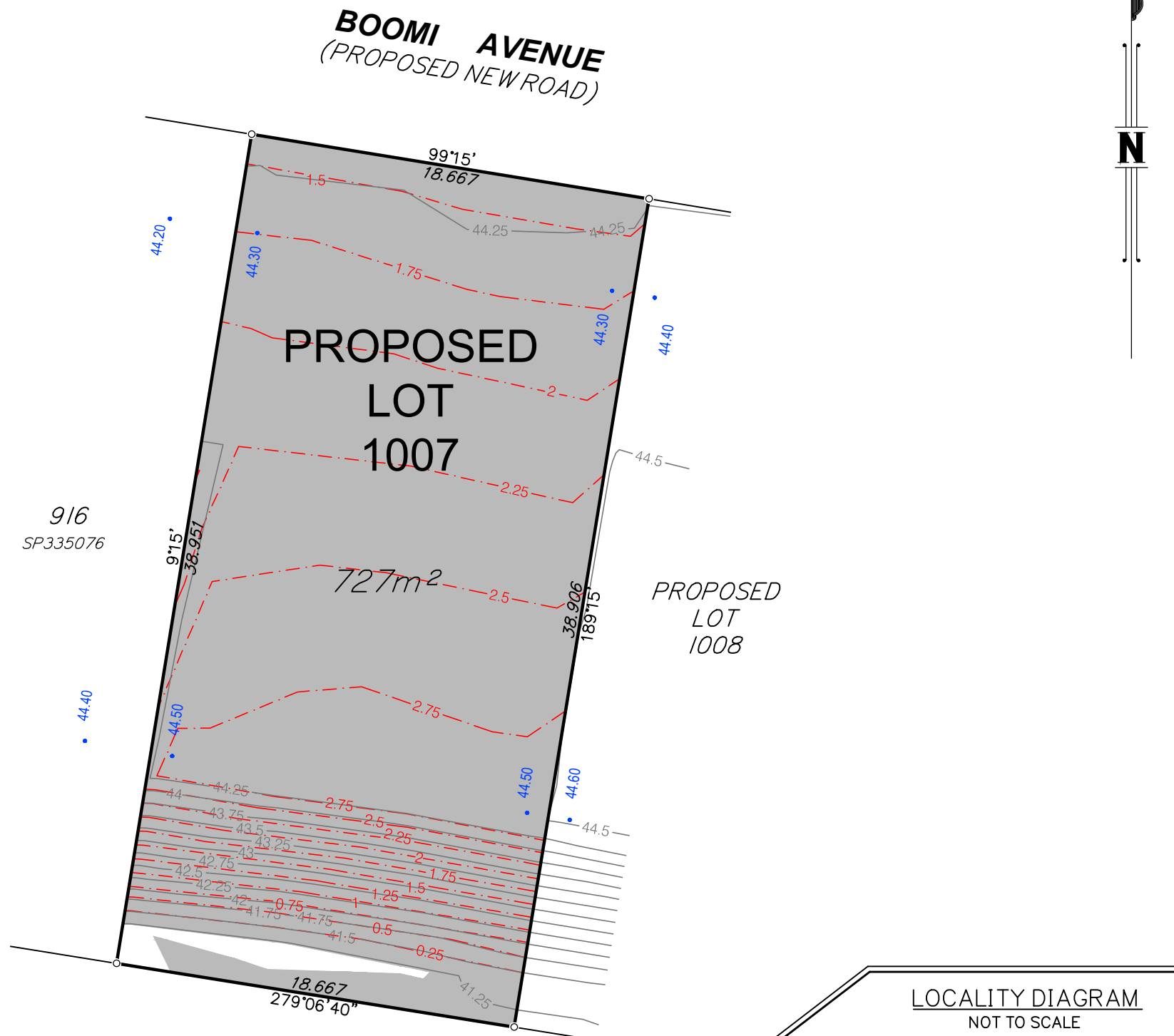
UDN
BRSS7455 - 010 - 011 - 1



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Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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DISCLOSURE PLAN FOR PROPOSED LOT 1007

This plan shows:
 Details of Proposed Lot 1007 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 3.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

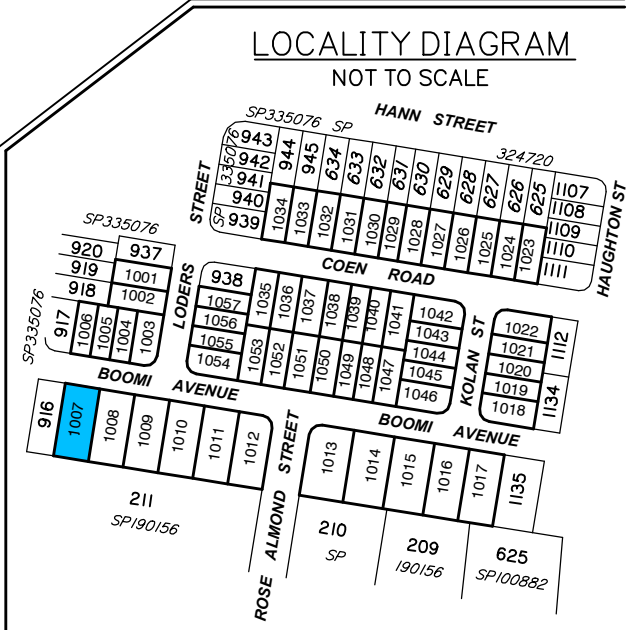
Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

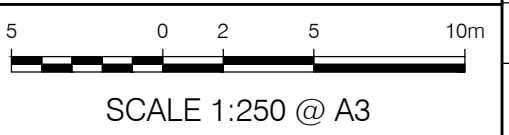


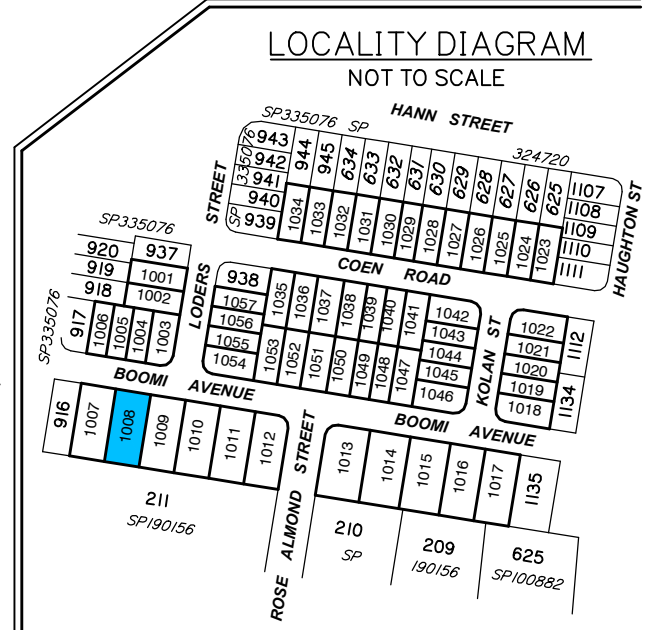
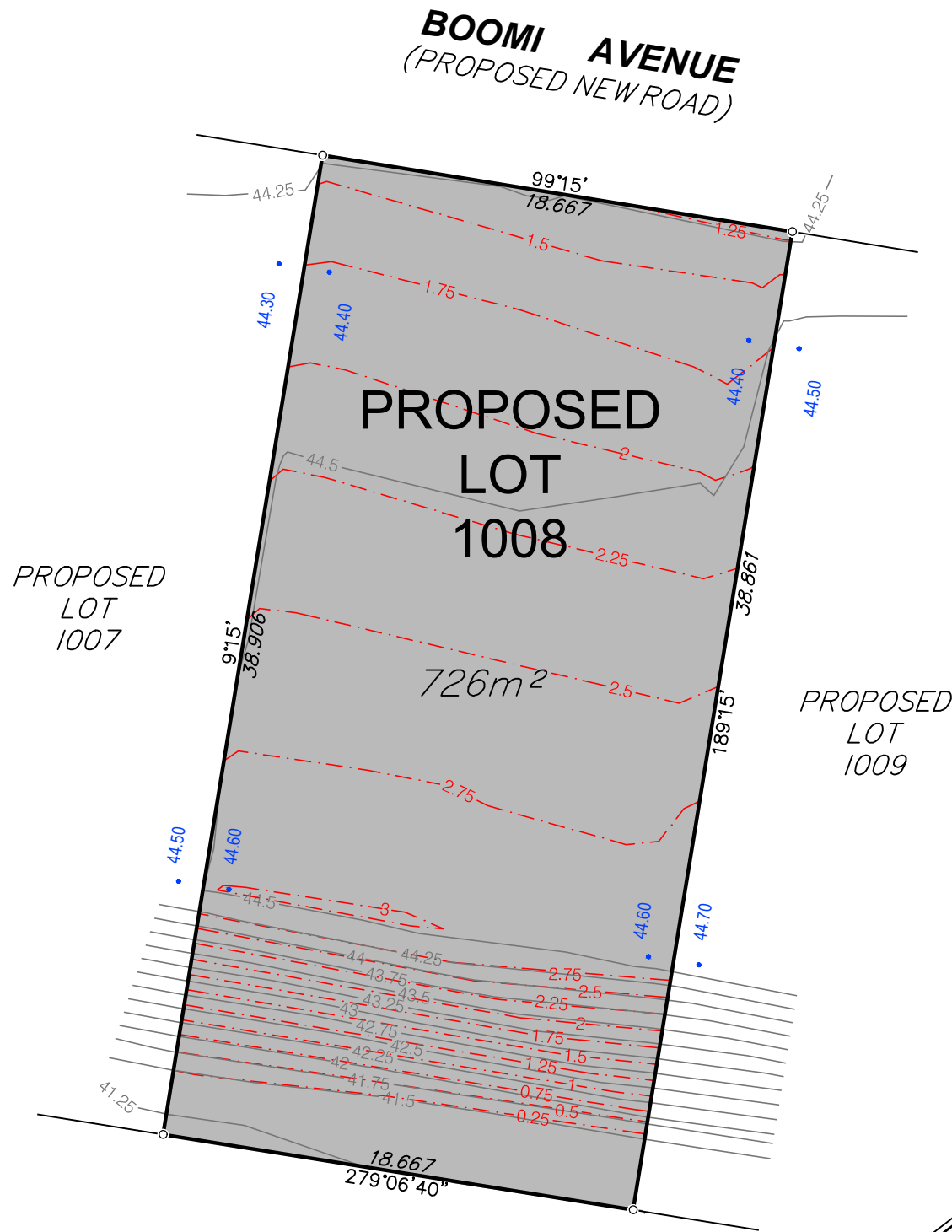
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

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 Finished Surface Levels (FSL): • 36.80

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|---|---------------|--------------------|------------|------------|
| LANDPARTNERS <i>surveyors and planners</i> Brisbane Office Level 1 18 Little Cribb Street Milton QLD 4064 PO Box 1399 Milton QLD 4064 p: (07) 3842 1000 f: (07) 3842 1001 e: info@landpartners.com.au w: www.landpartners.com.au | LEVEL DATUM | AHD | | |
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| | CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 | |
| UDN BRSS7455 - 010 - 012 - 3 | | | | |





211
SP190156

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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DISCLOSURE PLAN FOR PROPOSED LOT 1008

This plan shows:

Details of Proposed Lot 1008 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

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Area of Fill shown as:

Fill ranges in depth from 0.0m to 3.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

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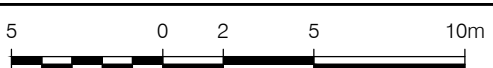
Project:
**PEBBLE CREEK
STAGE 10**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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18 Little Cribb Street
Milton QLD 4064

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QLD 4064

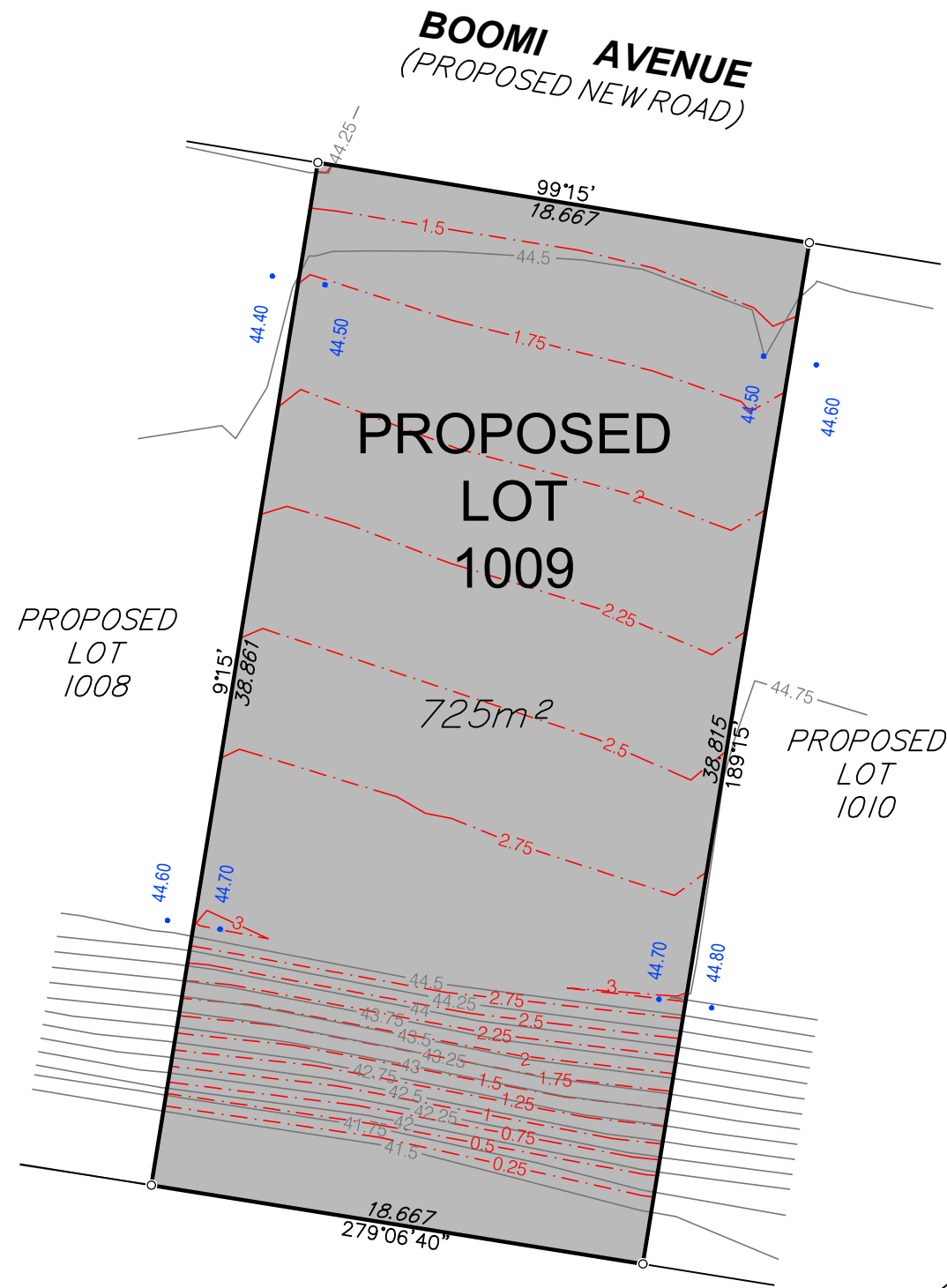
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w: www.landpartners.com.au



SCALE 1:250 @ A3

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| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

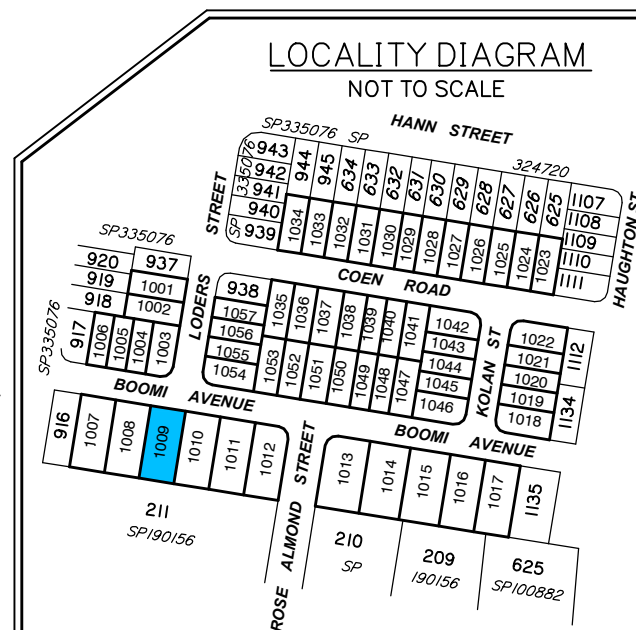
UDN
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PROPOSED LOT 1008

PROPOSED LOT 1010

211
SP190156



DISCLOSURE PLAN FOR PROPOSED LOT 1009

This plan shows:

Details of Proposed Lot 1009 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 3.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

Brisbane Office
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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |



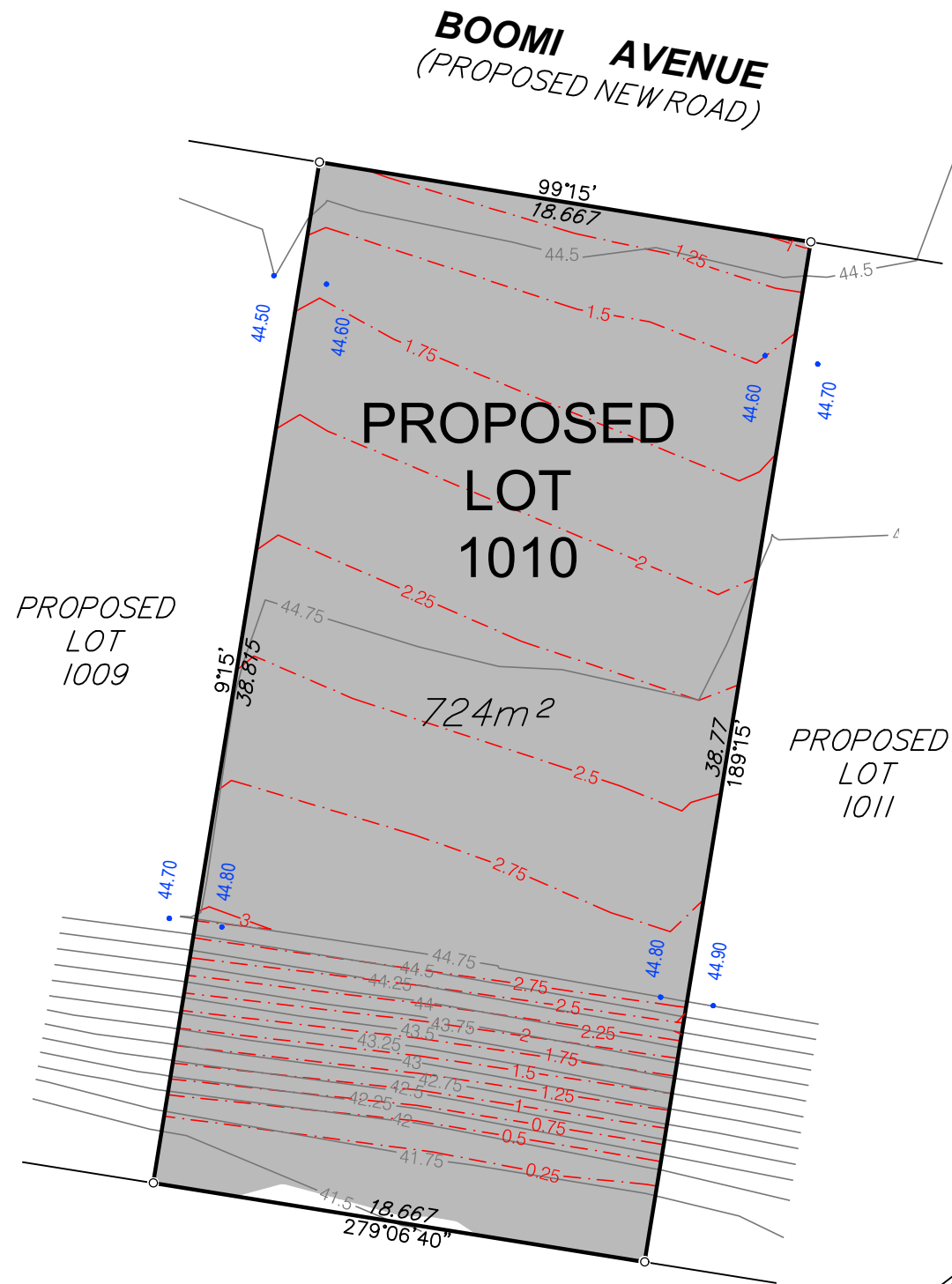
SCALE 1:250 @ A3

UDN
BRSS7455 - 010 - 014 - 3

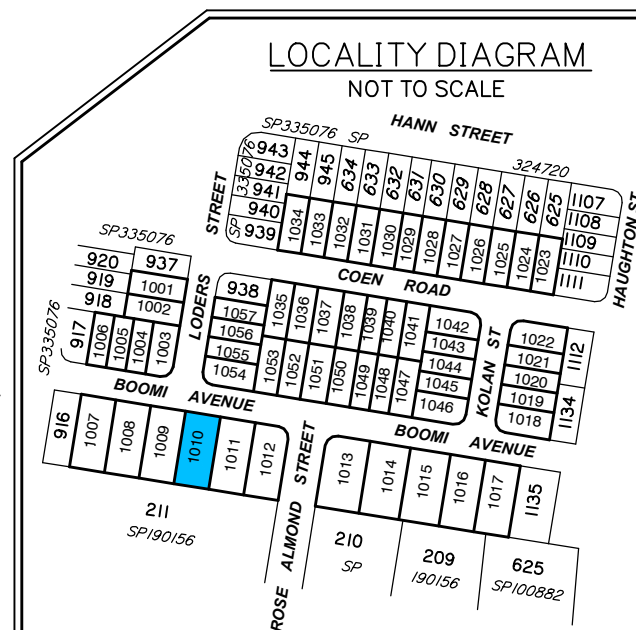
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



211
SP190156



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1010

This plan shows:

Details of Proposed Lot 1010 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 3.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

**PEBBLE CREEK
STAGE 10**

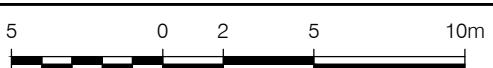
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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18 Little Cribb Street
Milton QLD 4064

PO Box 1399
Milton
QLD 4064

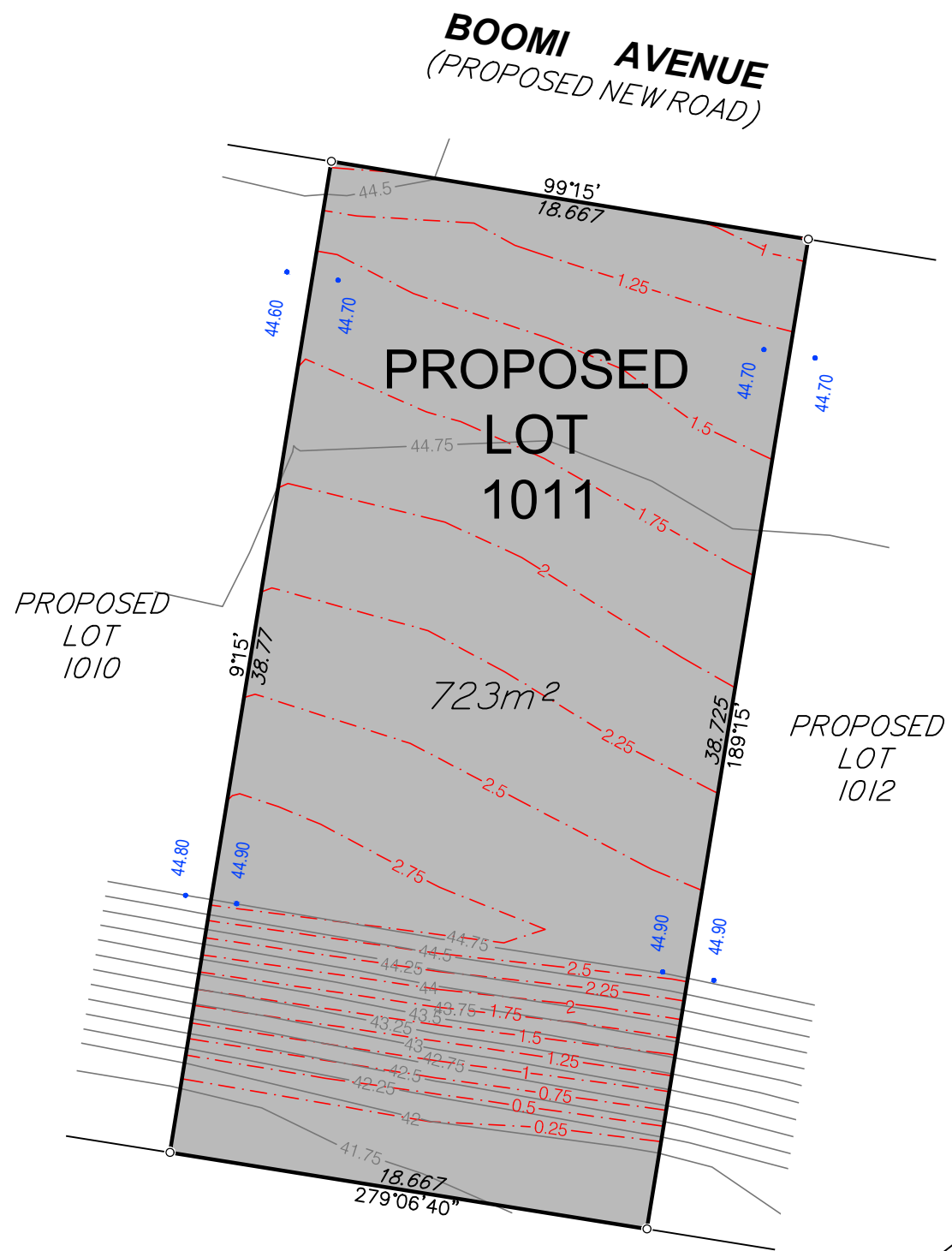
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e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

UDN
BRSS7455 - 010 - 015 - 3



DISCLOSURE PLAN FOR PROPOSED LOT 1011

This plan shows:

Details of Proposed Lot 1011 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



211
SP190156

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

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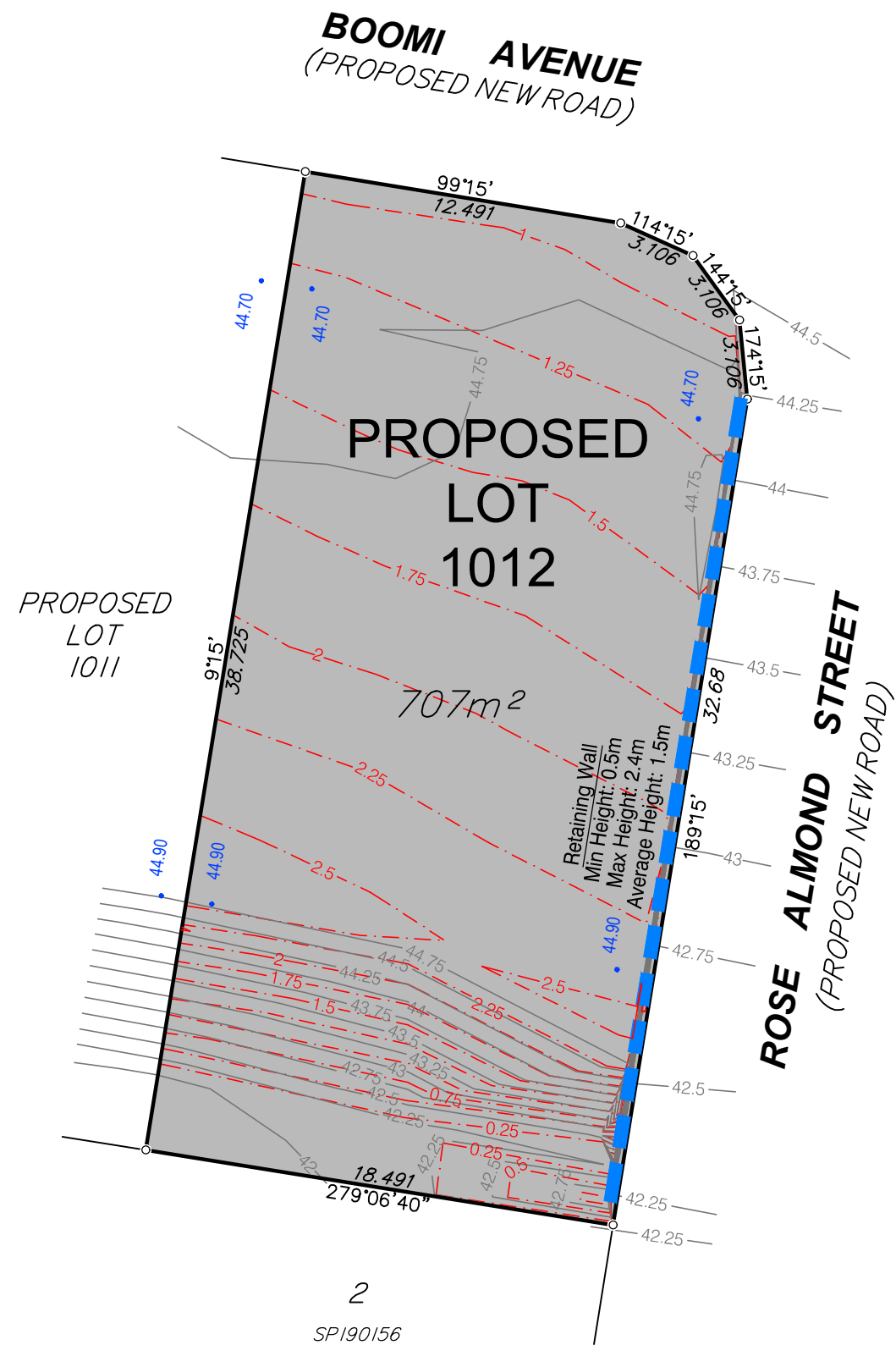
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e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

UDN
BRSS7455 - 010 - 016 - 3



DISCLOSURE PLAN FOR PROPOSED LOT 1012

This plan shows:

Details of Proposed Lot 1012 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

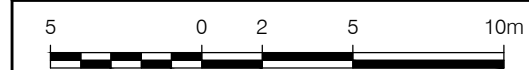
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

Brisbane Office
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Milton QLD 4064

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Milton
QLD 4064

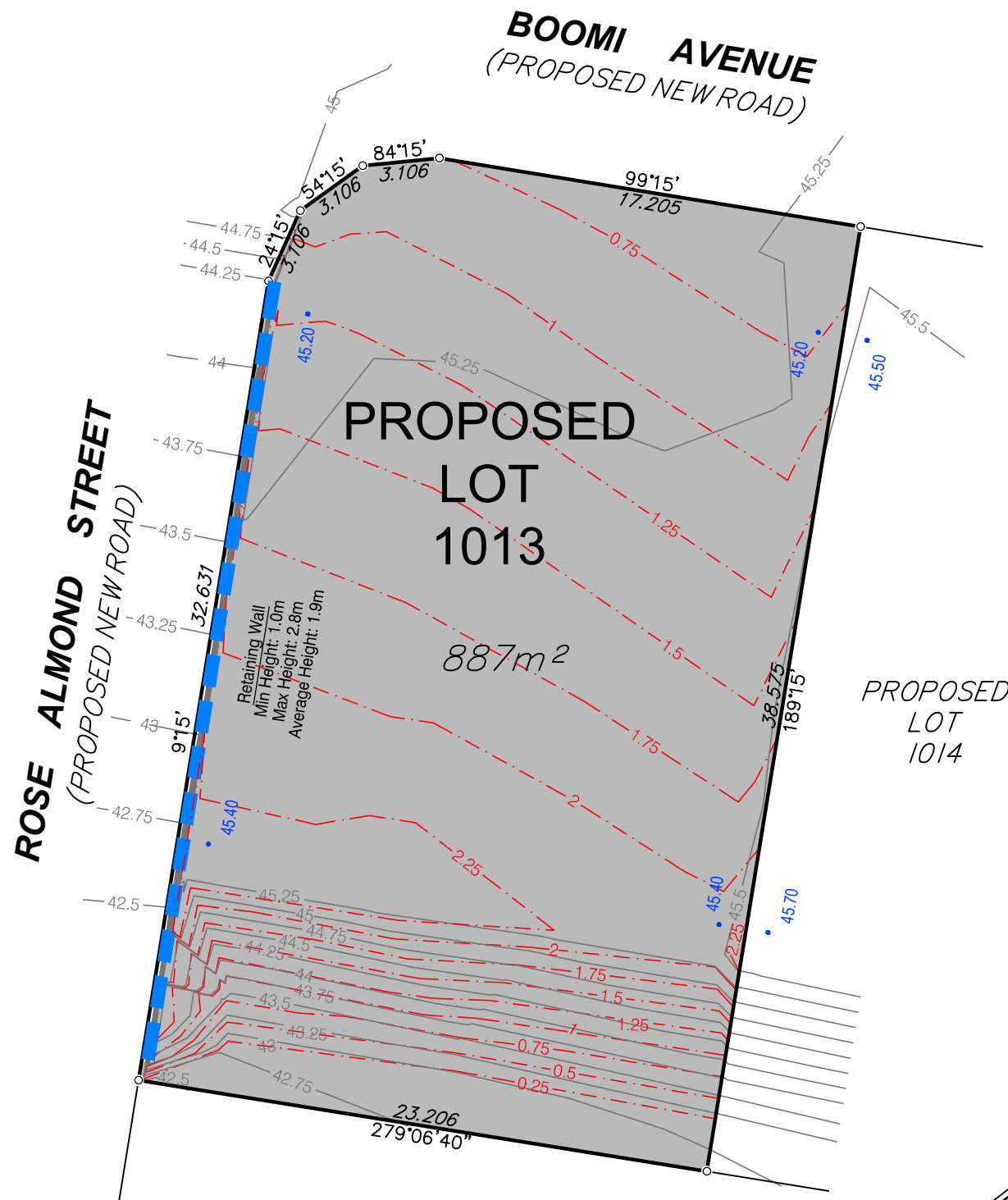
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e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

UDN
BRSS7455 - 010 - 017 - 3



210
SP190156



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1013

This plan shows:

Details of Proposed Lot 1013 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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SCALE 1:250 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

UDN
BRSS7455 - 010 - 018 - 3

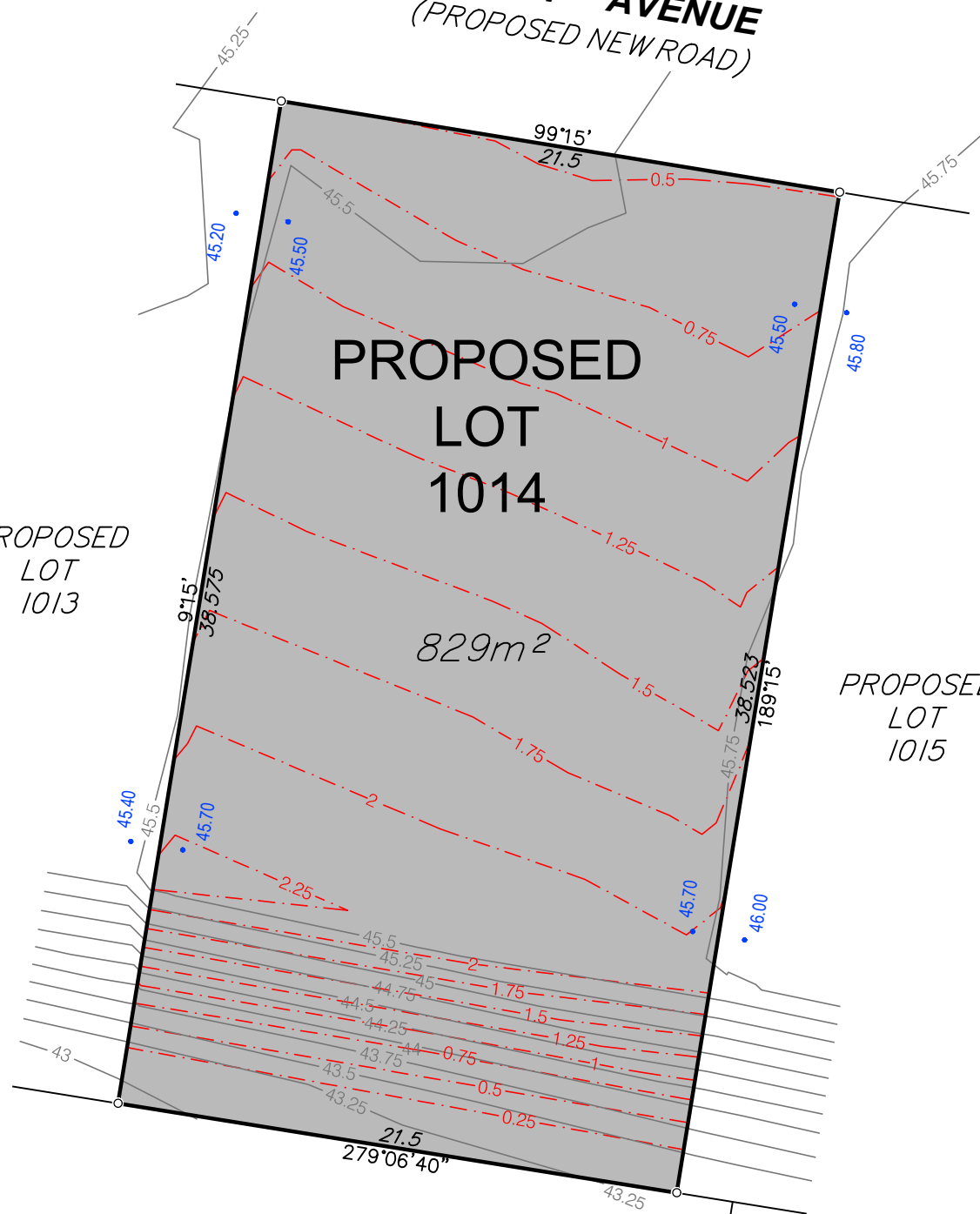
BOOMI AVENUE
(PROPOSED NEW ROAD)

PROPOSED LOT 1014

829m²

PROPOSED LOT 1013

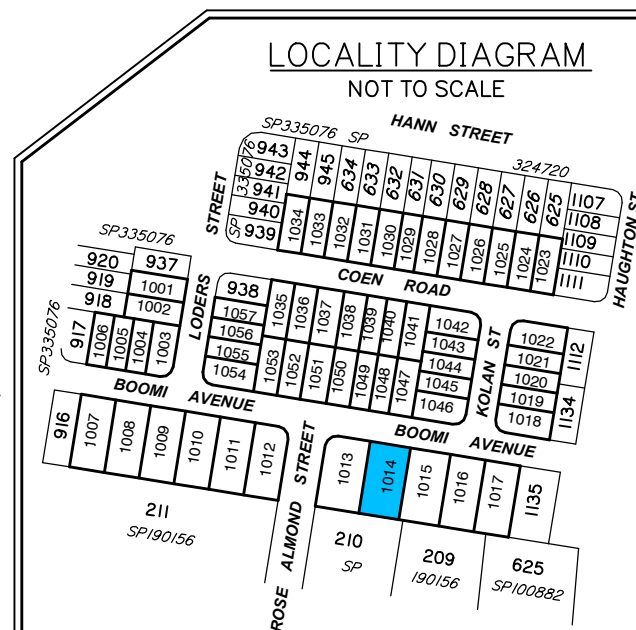
PROPOSED LOT 1015



210
SP190156

209
SP190156

LOCALITY DIAGRAM
NOT TO SCALE



DISCLOSURE PLAN FOR PROPOSED LOT 1014

This plan shows:

Details of Proposed Lot 1014 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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e: info@landpartners.com.au
w: www.landpartners.com.au

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |



SCALE 1:250 @ A3

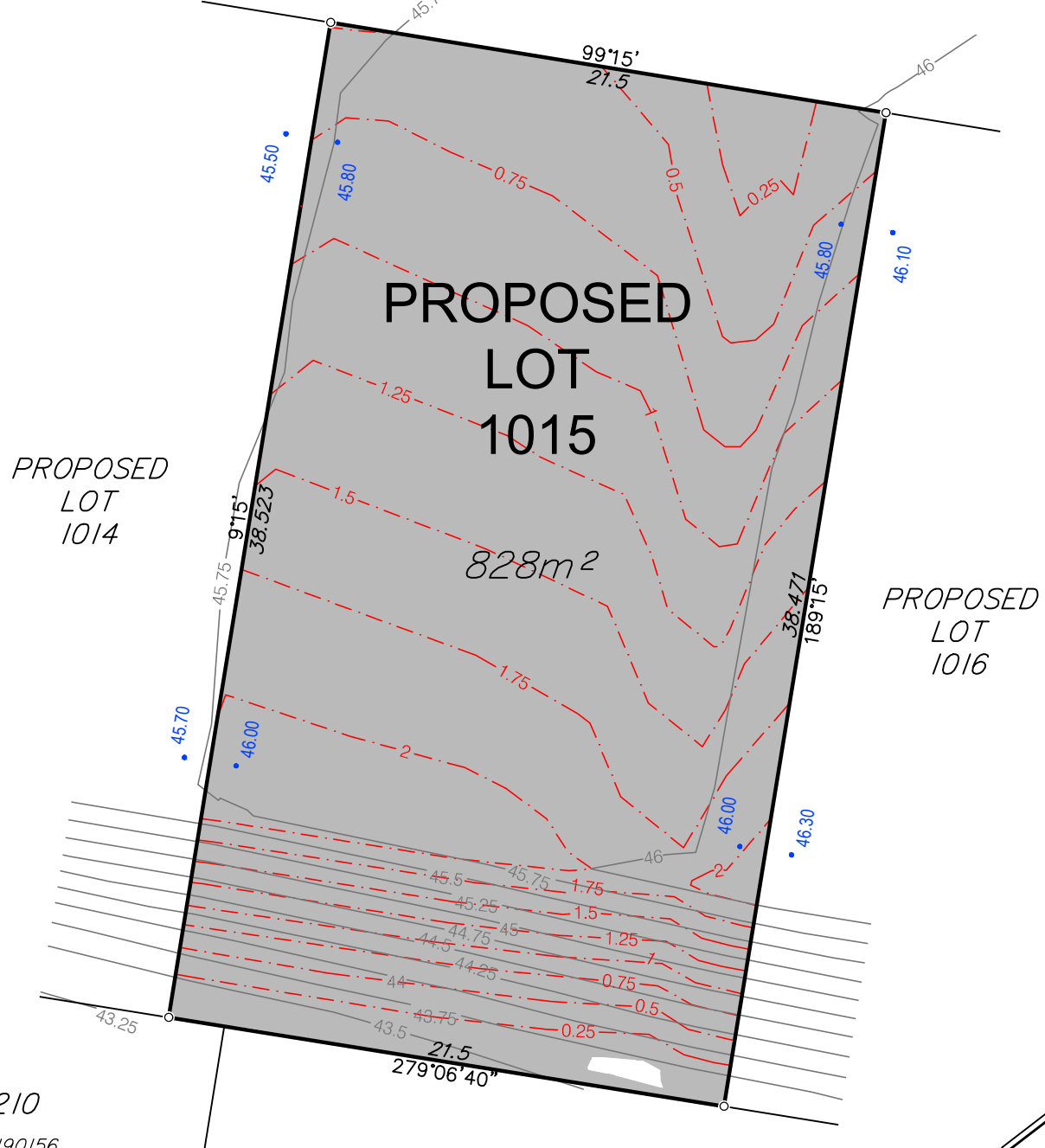
UDN
BRSS7455 - 010 - 019 - 3

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

**BOOMI AVENUE
(PROPOSED NEW ROAD)**



210
SP190156

209
SP190156

**LOCALITY DIAGRAM
NOT TO SCALE**



DISCLOSURE PLAN FOR PROPOSED LOT 1015

This plan shows:
Details of Proposed Lot 1015 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).
This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

- As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —
- Retaining Walls are shown as: [Blue dashed line symbol]
- The locations of the retaining walls shown are indicative from design and not drawn to scale.
- Area of Fill shown as: [Grey shaded area symbol]
- Fill ranges in depth from 0.0m to 2.1m.
- Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.
- Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -
- Areas and dimensions shown on this plan are subject to registration with the Department of Resources.
- As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:
**PEBBLE CREEK
STAGE 10**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

LANDPARTNERS
surveyors and planners

bsi ISO 9001 Quality Management Systems CERTIFIED

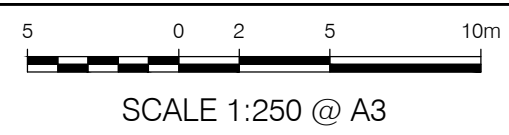
CERTIFIED LOCATOR ISO 45001 Occupational Health and Safety Management Systems CERTIFIED

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18 Little Cribb Street
Milton QLD 4064

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QLD 4064

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w: www.landpartners.com.au

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

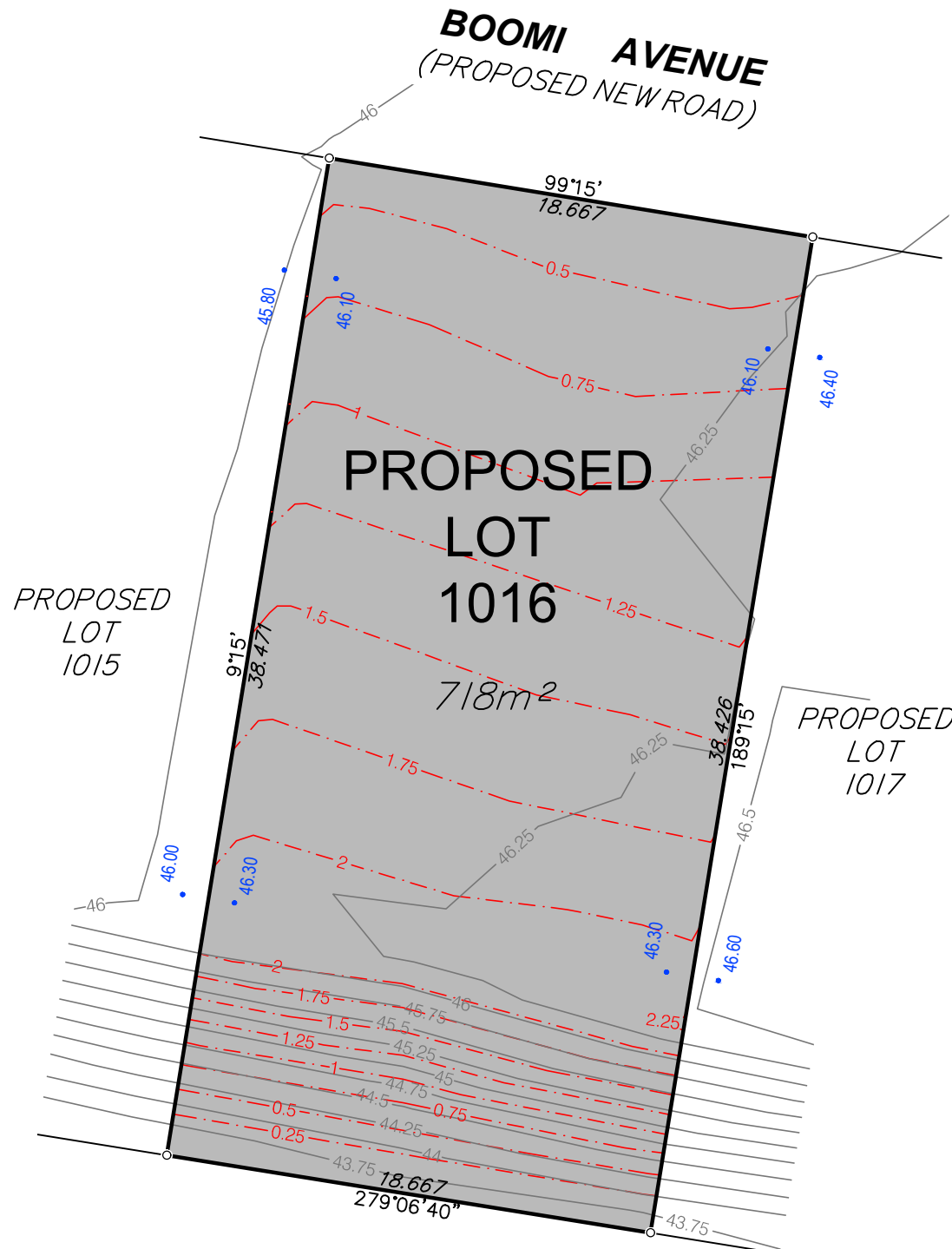


Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

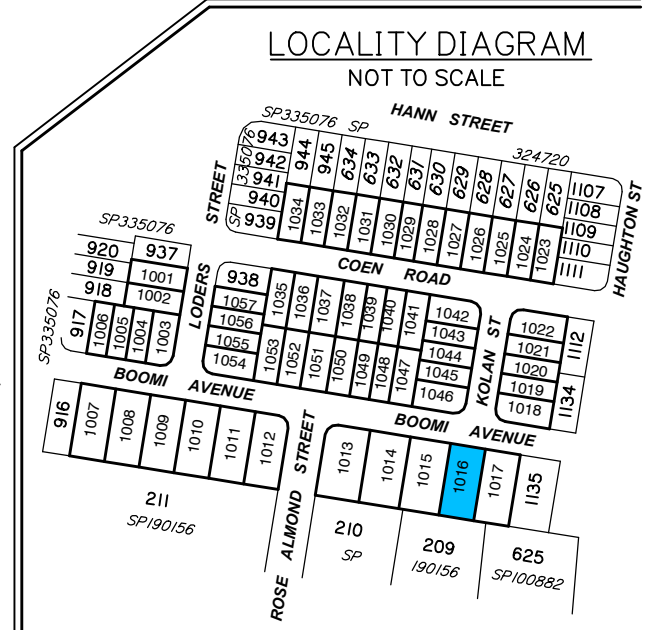
NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

UDN
BRSS7455 - 010 - 020 - 3



PROPOSED LOT 1016
718m²

209
SP190156



DISCLOSURE PLAN FOR PROPOSED LOT 1016

This plan shows:

Details of Proposed Lot 1016 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

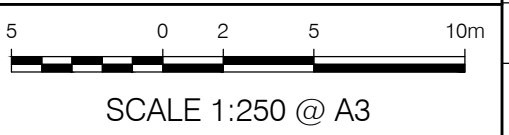
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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18 Little Cribb Street
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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |

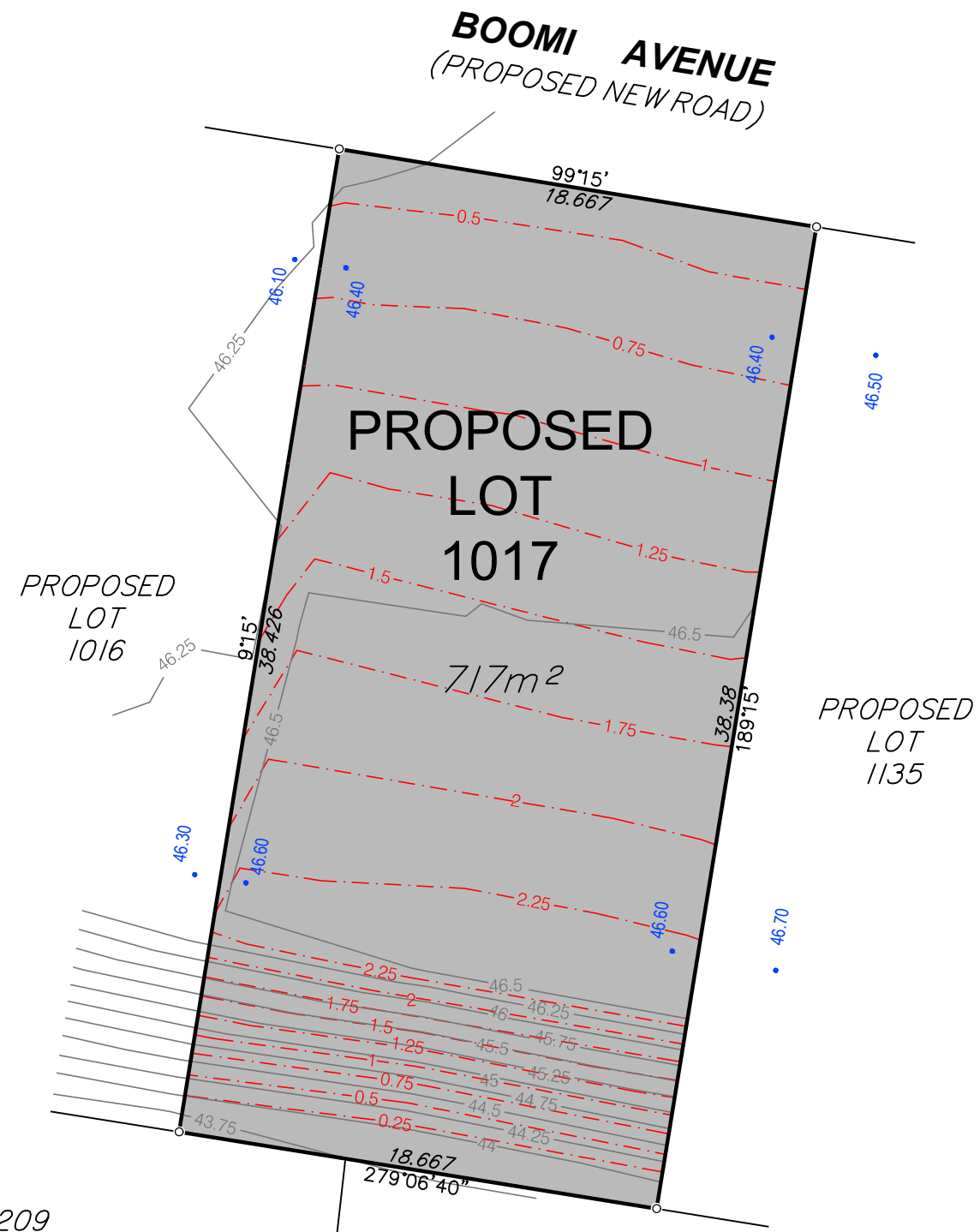


UDN
BRSS7455 - 010 - 021 - 3

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

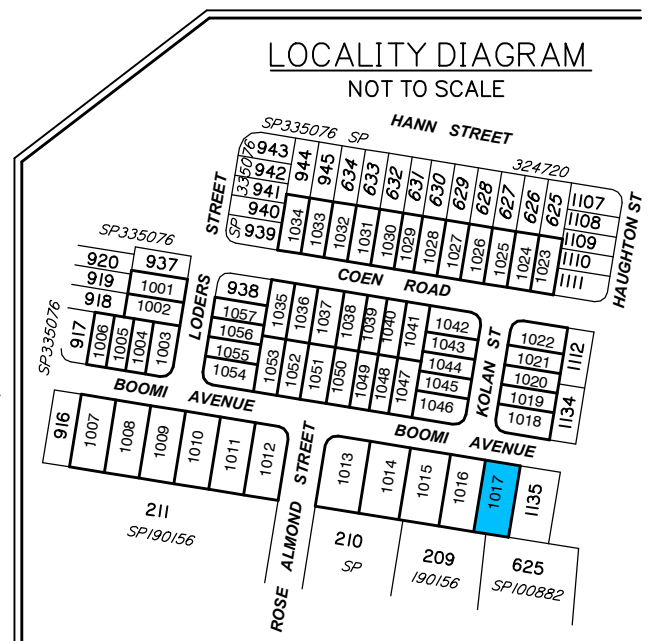
Where applicable,
Finished Surface Levels (FSL): 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



209
SPI90156

625
SPI00882



DISCLOSURE PLAN FOR PROPOSED LOT 1017

This plan shows:

Details of Proposed Lot 1017 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

As-Constructed surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

As-Constructed surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from As-Constructed survey data by LandPartners on 15 April 2024.

Project:

PEBBLE CREEK STAGE 10

Client:

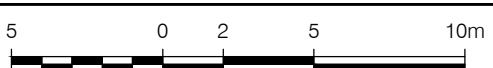
ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD

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w: www.landpartners.com.au

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-4 | | |
| SCALE | 1:250 | | |
| DRAWN | KDM | DATE | 23/04/2024 |
| CHECKED | MEA | DATE | 23/04/2024 |
| APPROVED | RG | DATE | 23/04/2024 |



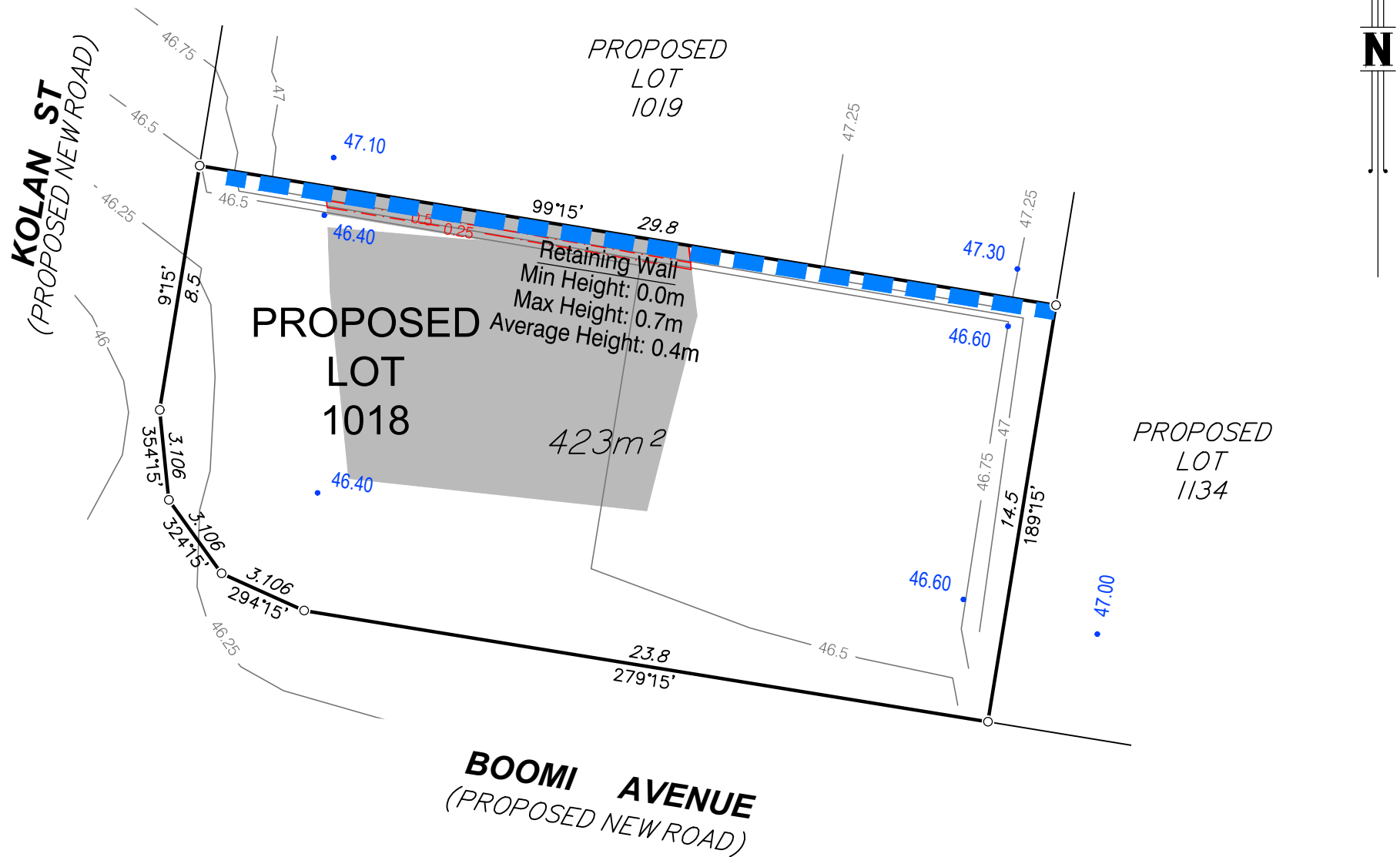
SCALE 1:250 @ A3

UDN
BRSS7455 - 010 - 022 - 3

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1018

This plan shows:

Details of Proposed Lot 1018 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

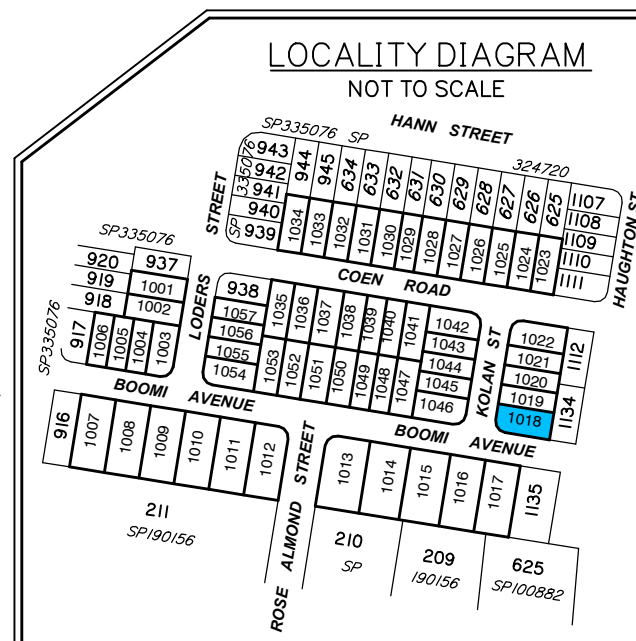
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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SCALE 1:200 @ A3

| | | | |
|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |


UDN
BRSS7455 - 010 - 023 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1019

This plan shows:


Details of Proposed Lot 1019 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 


Retaining Walls are shown as: 

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: 

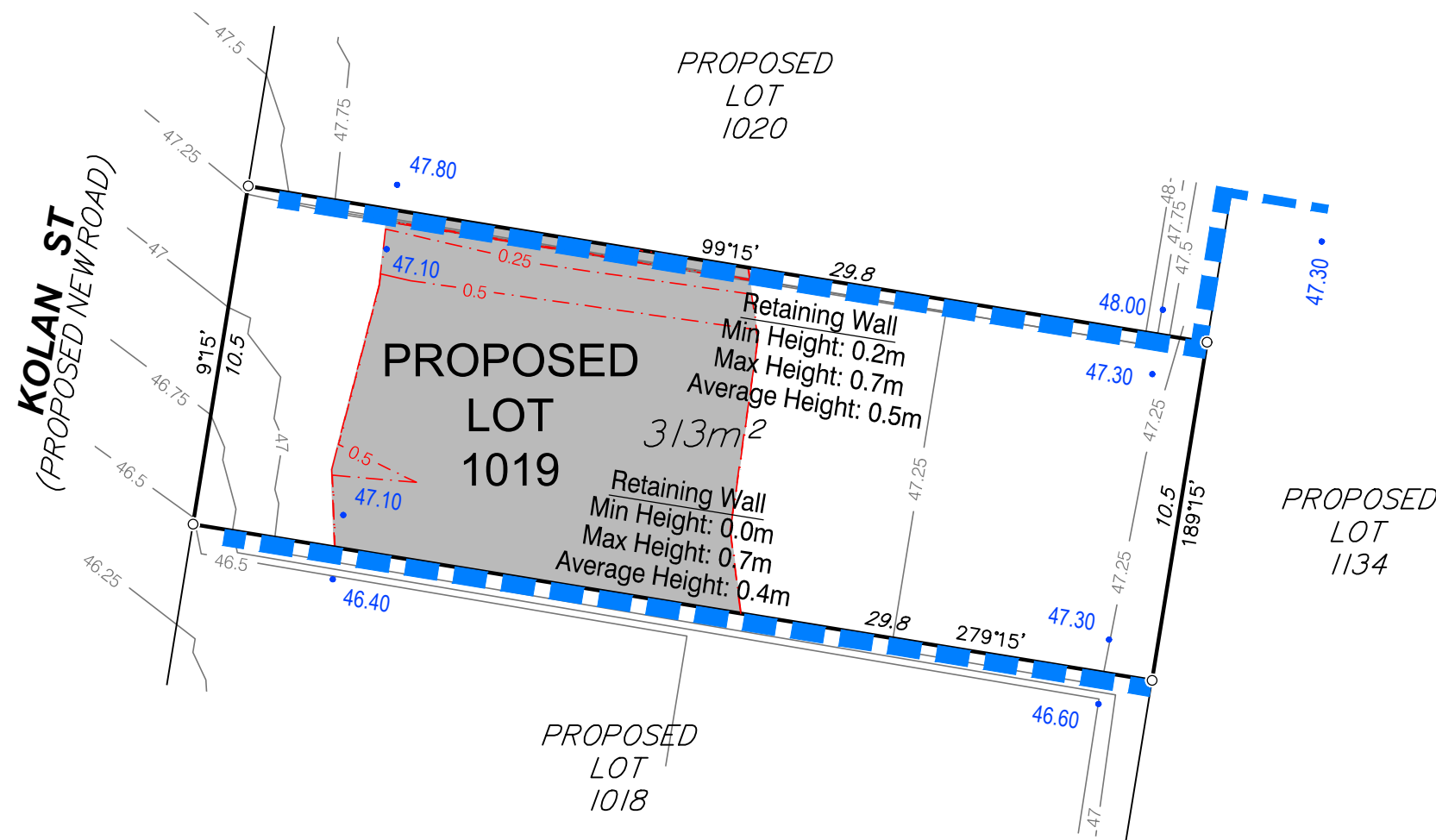
Fill ranges in depth from 0.0m to 0.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

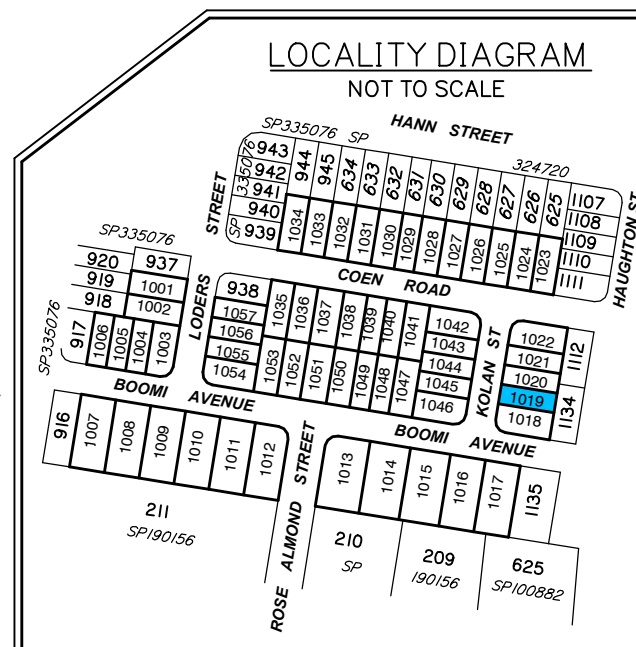


Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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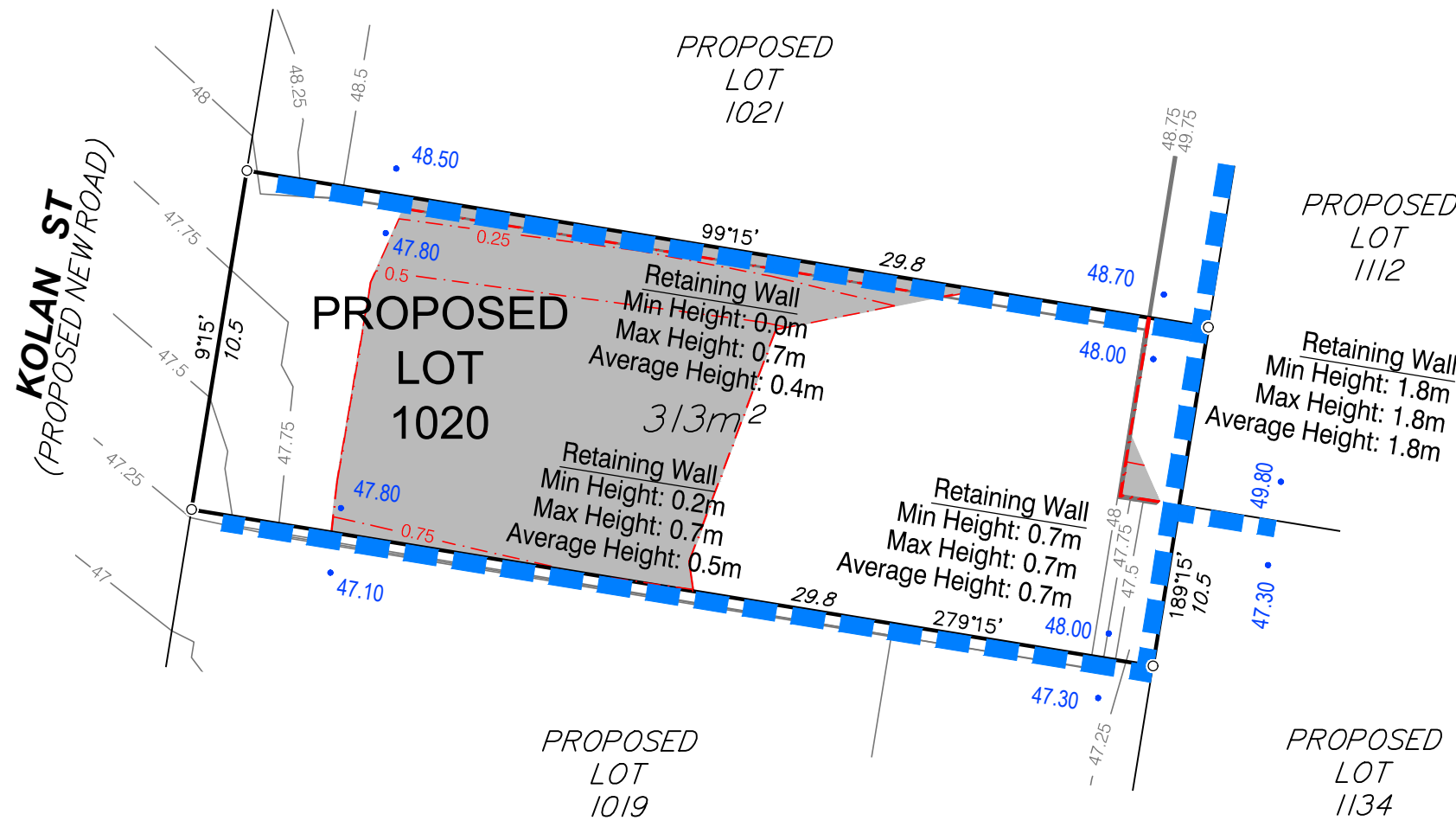
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SCALE 1:200 @ A3

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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 024 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1020

This plan shows:

Details of Proposed Lot 1020 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

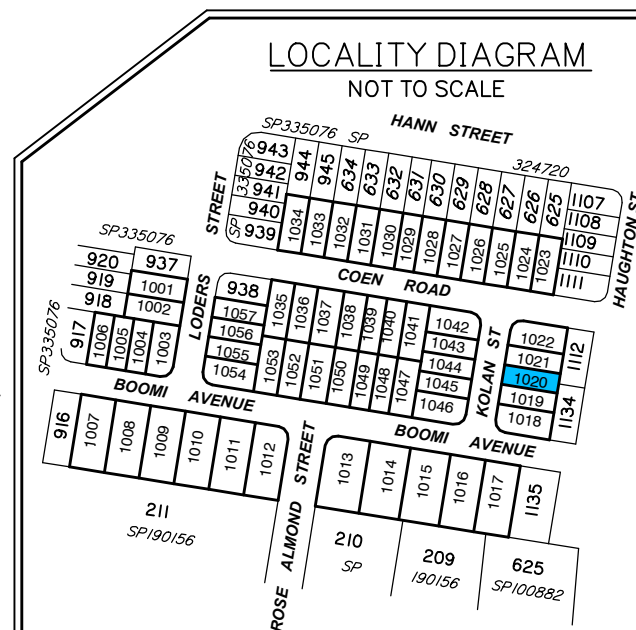
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

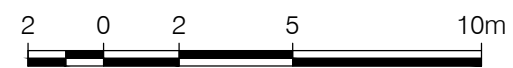
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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SCALE 1:200 @ A3

| | | | |
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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 025 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1021

This plan shows:

Details of Proposed Lot 1021 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as:

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

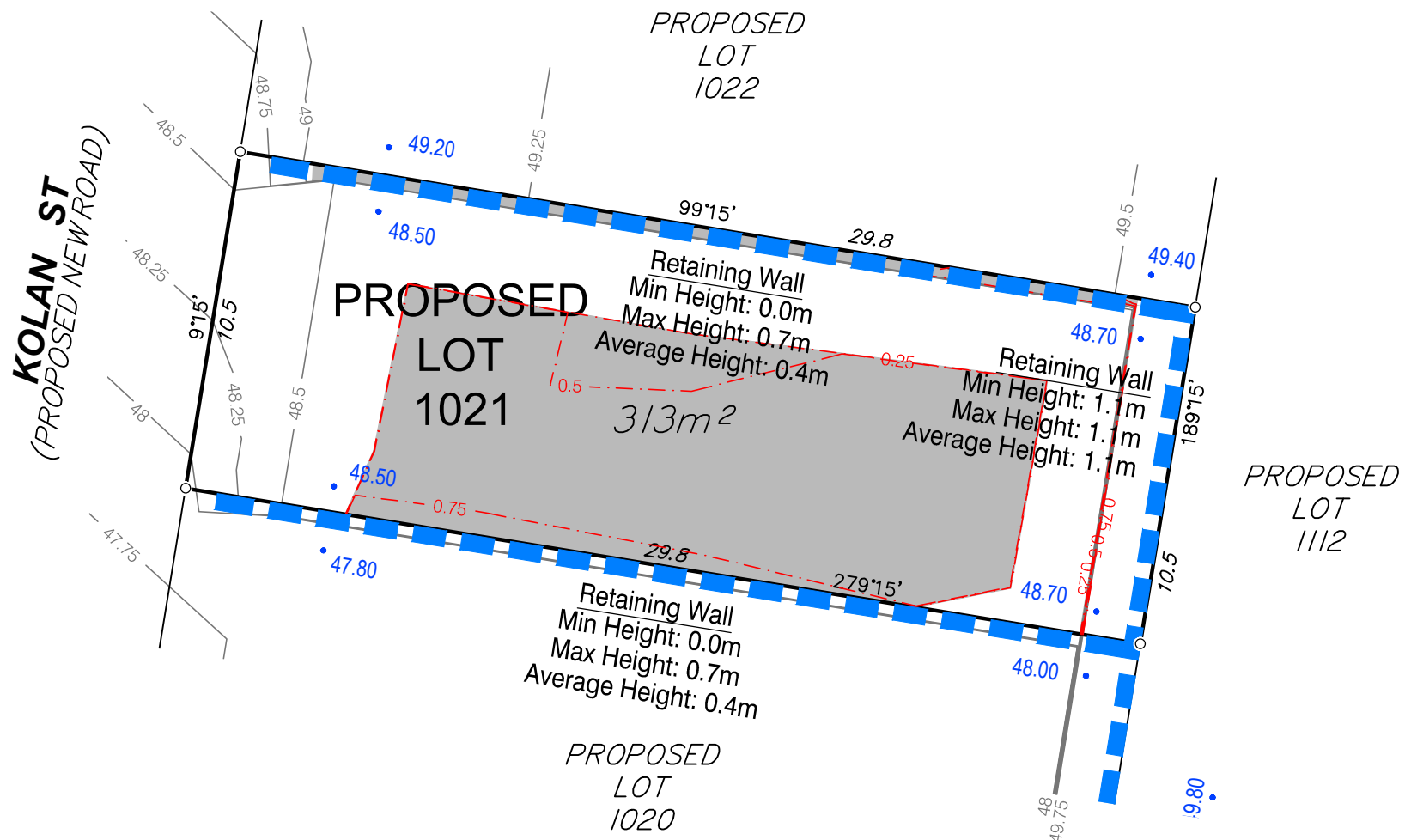
Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as:

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

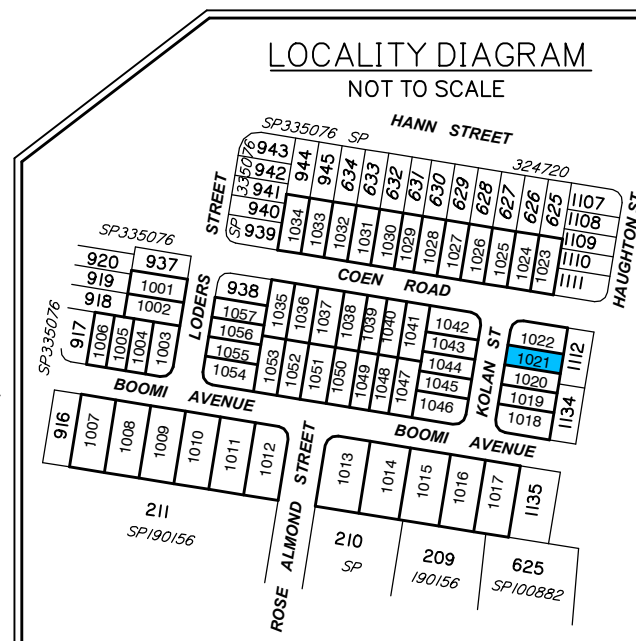


Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

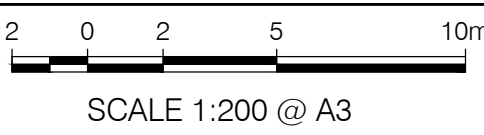
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



UDN
BRSS7455 - 010 - 026 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1022

This plan shows:

Details of Proposed Lot 1022 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD

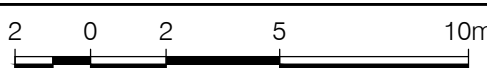


LANDPARTNERS
surveyors and planners

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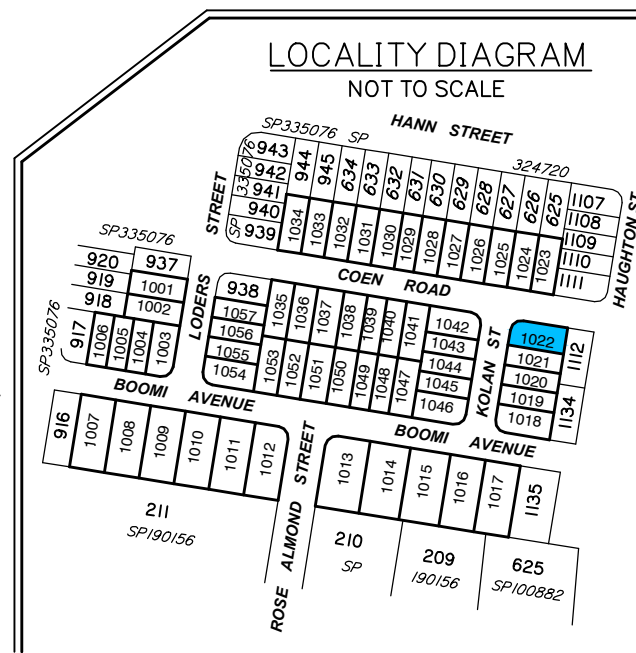
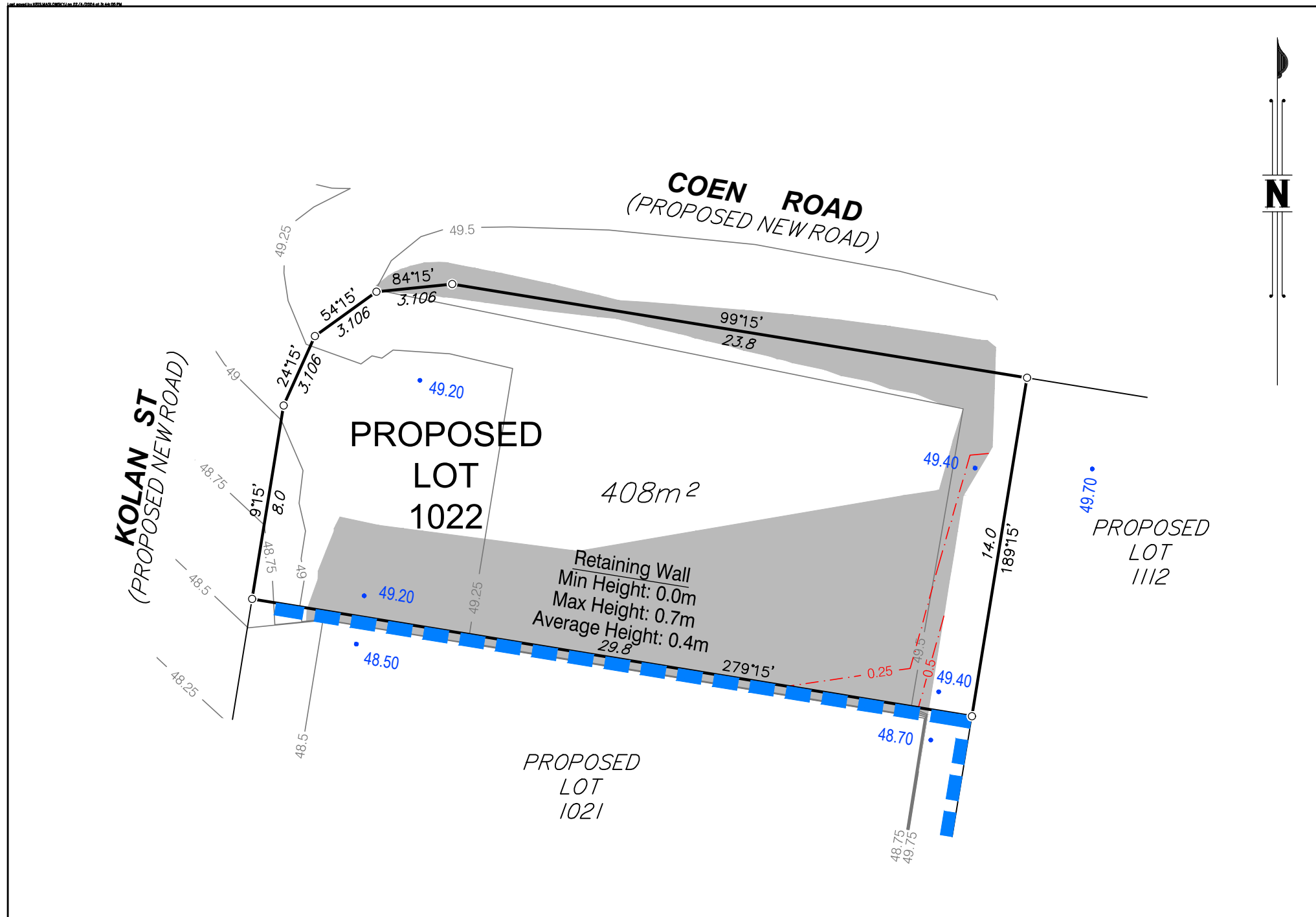
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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



SCALE 1:200 @ A3

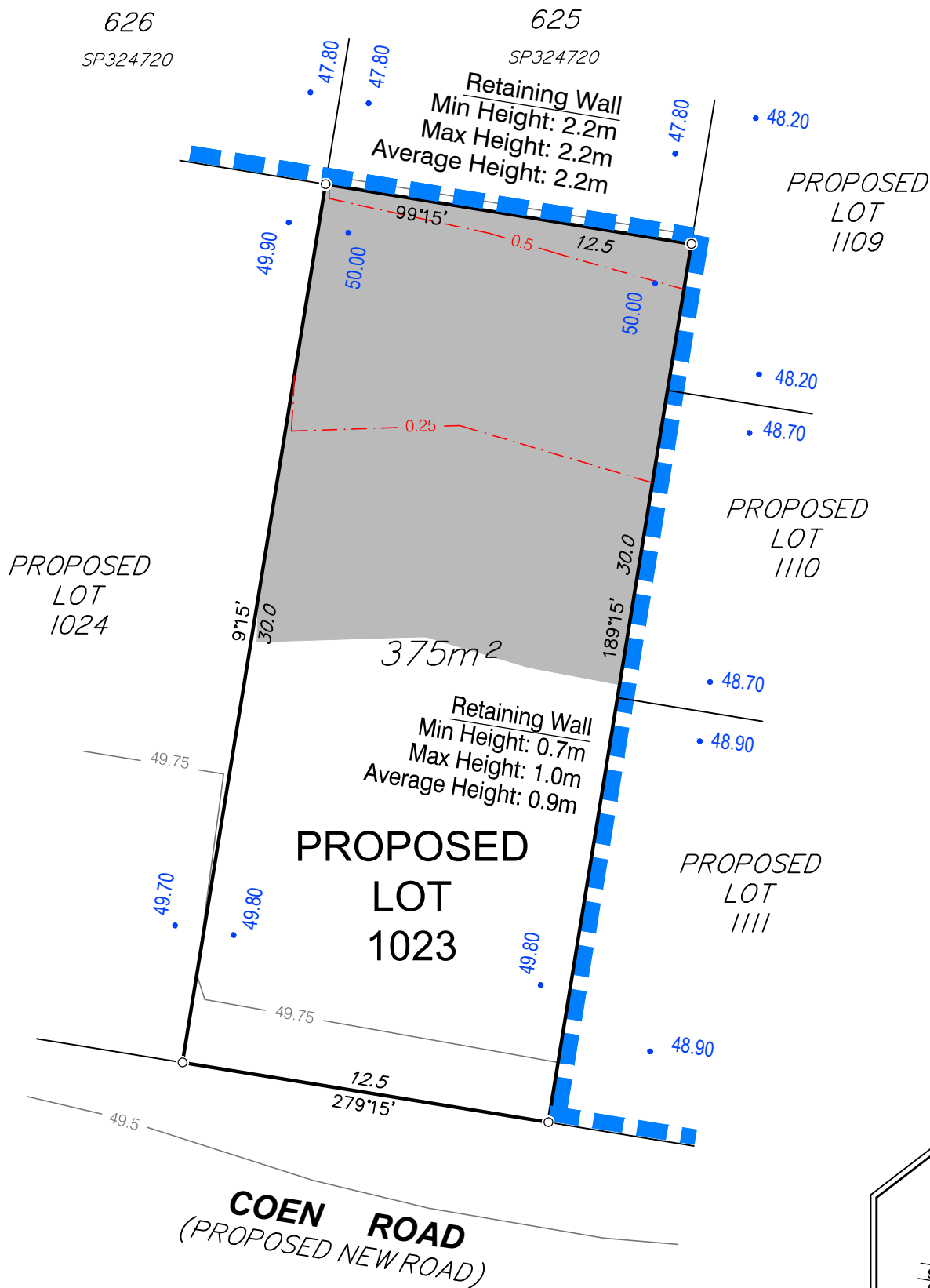
| | | | |
|---------------|--------------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |
| UDN | BRSS7455 - 010 - 027 - 1 | | |



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1023

This plan shows:

Details of Proposed Lot 1023 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

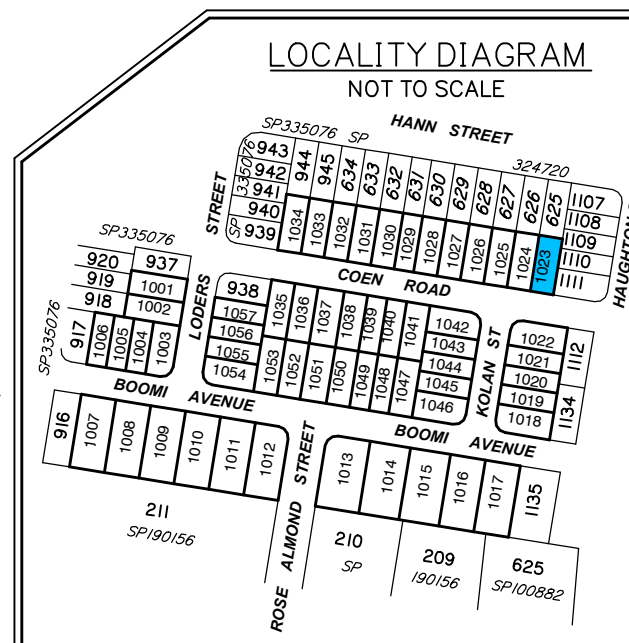
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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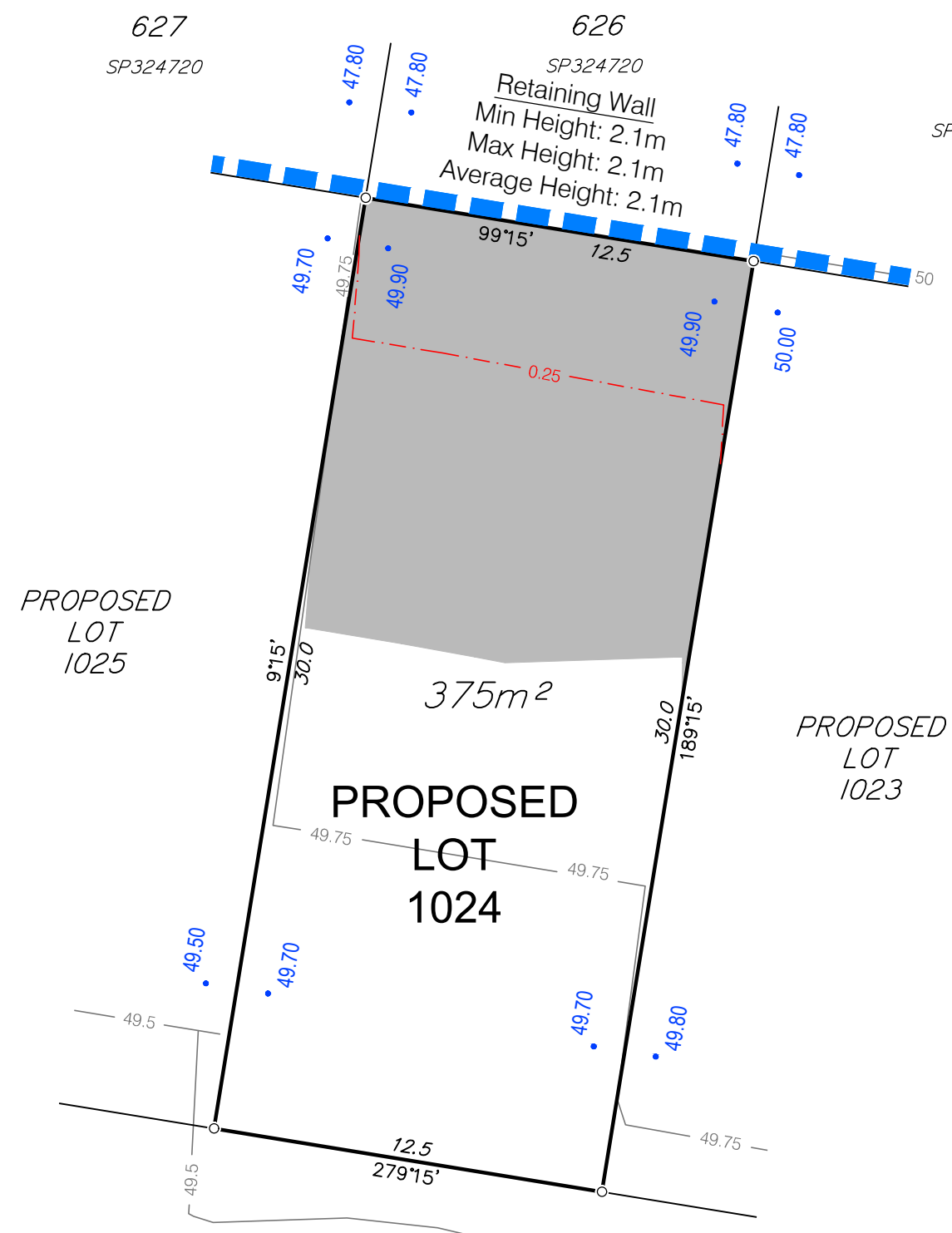
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SCALE 1:200 @ A3

| | | | |
|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-2 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 29/08/2023 |

UDN
BRSS7455 - 010 - 028 - 2



DISCLOSURE PLAN FOR PROPOSED LOT 1024

This plan shows:

Details of Proposed Lot 1024 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

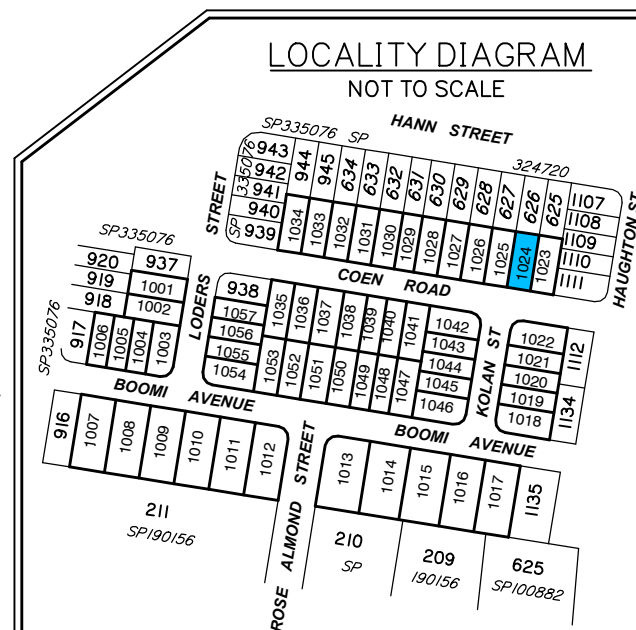
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



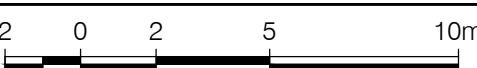
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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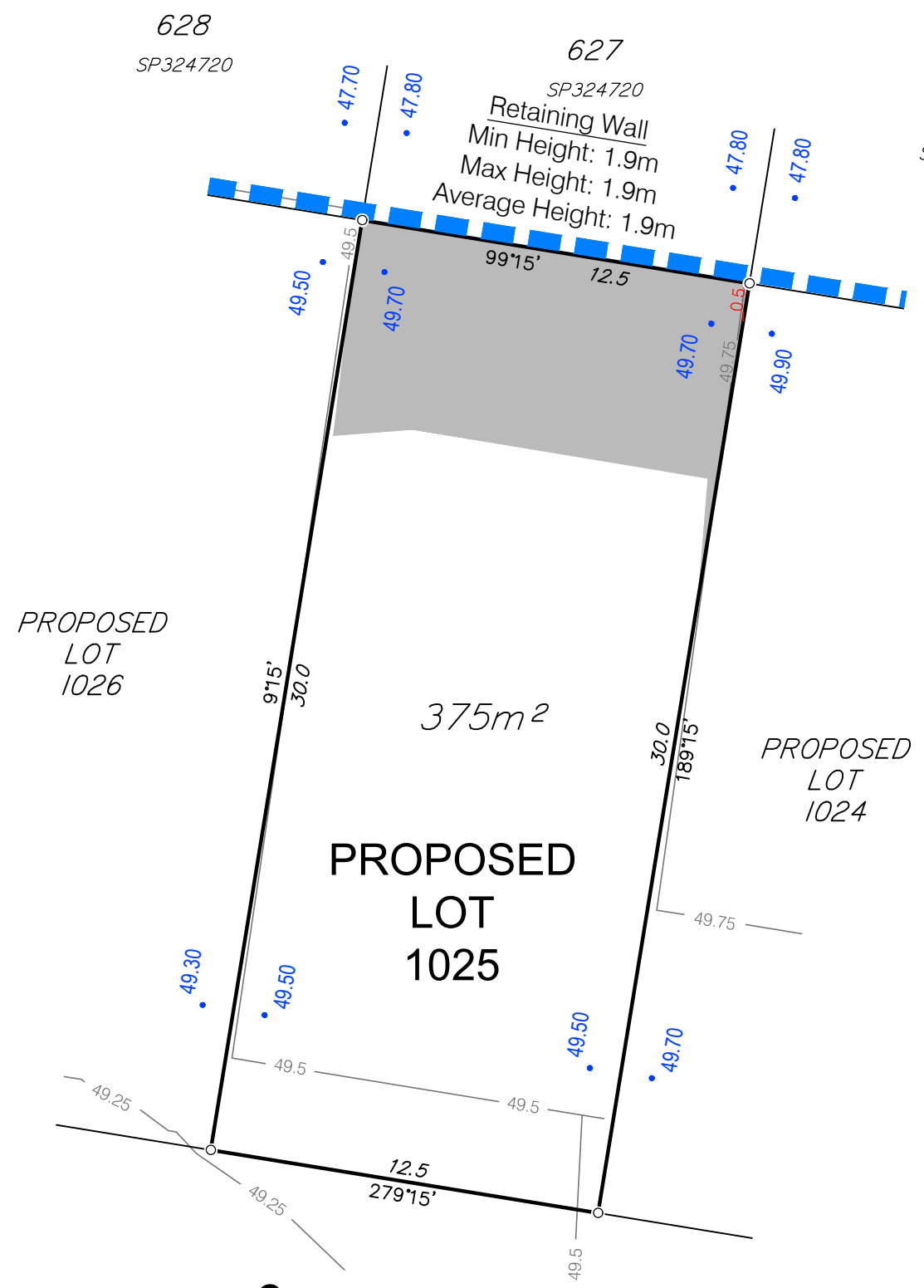
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SCALE 1:200 @ A3

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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 029 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1025

This plan shows:

Details of Proposed Lot 1025 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

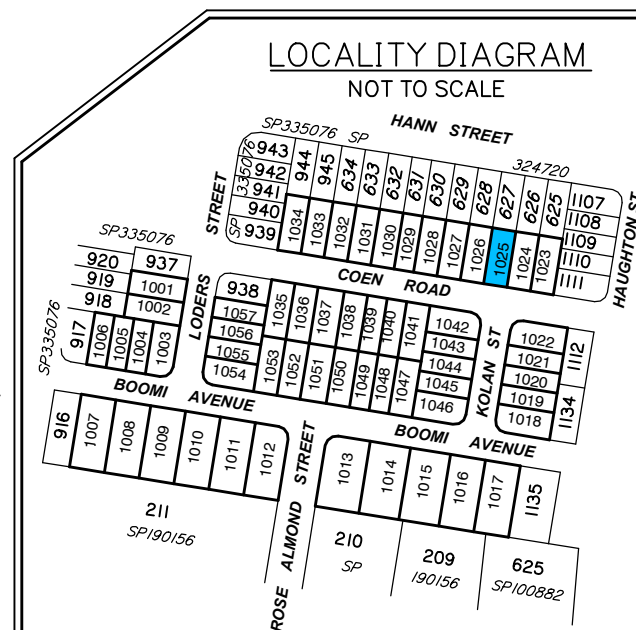
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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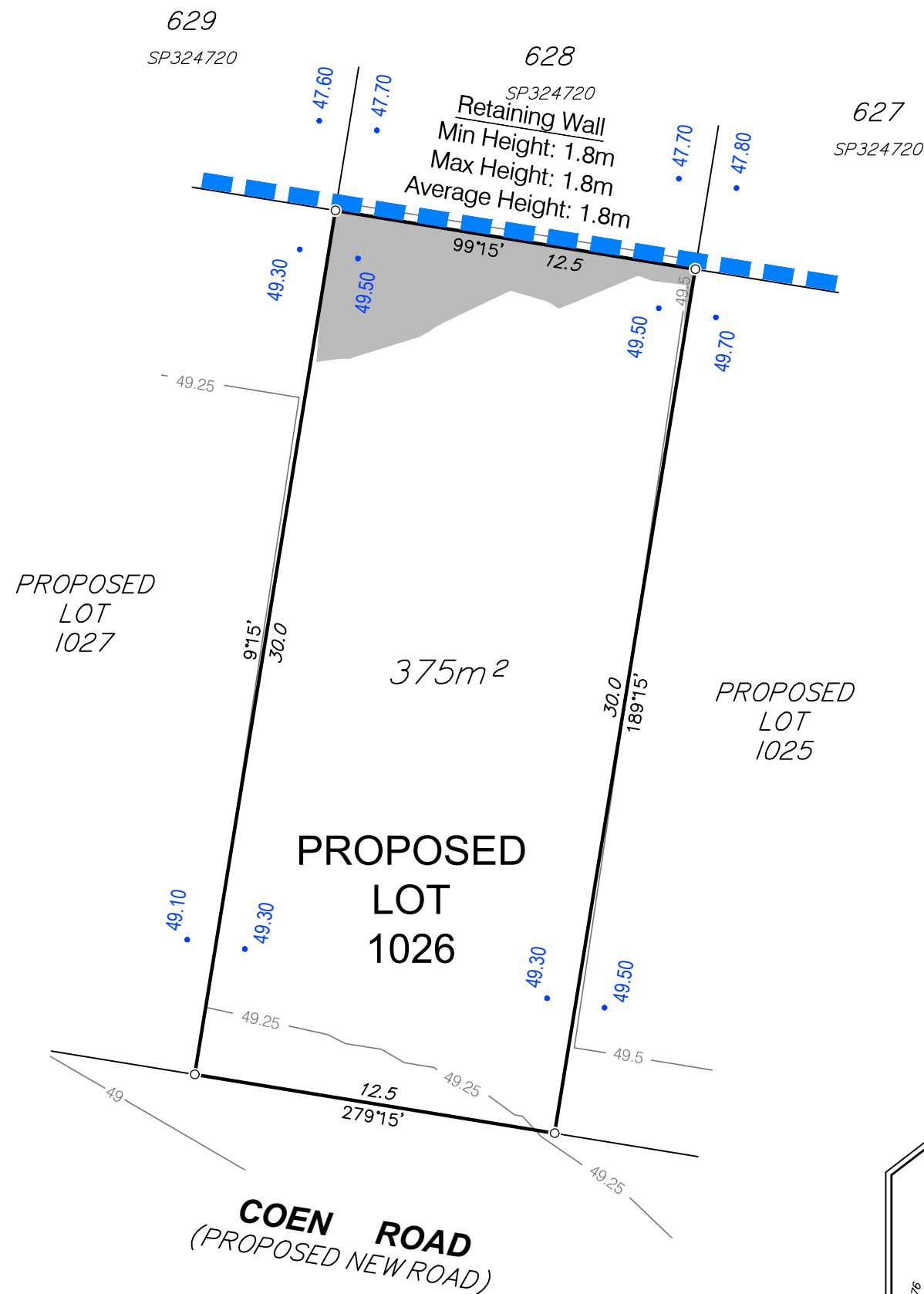
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SCALE 1:200 @ A3

| | | | |
|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 030 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1026

This plan shows:

Details of Proposed Lot 1026 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

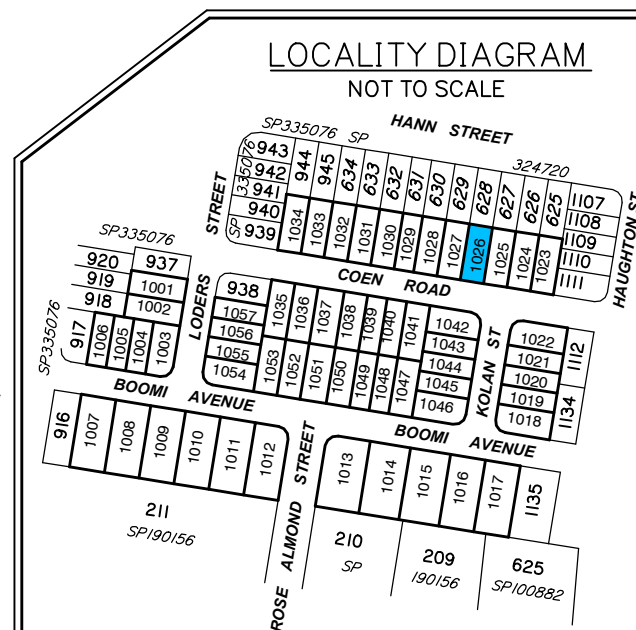
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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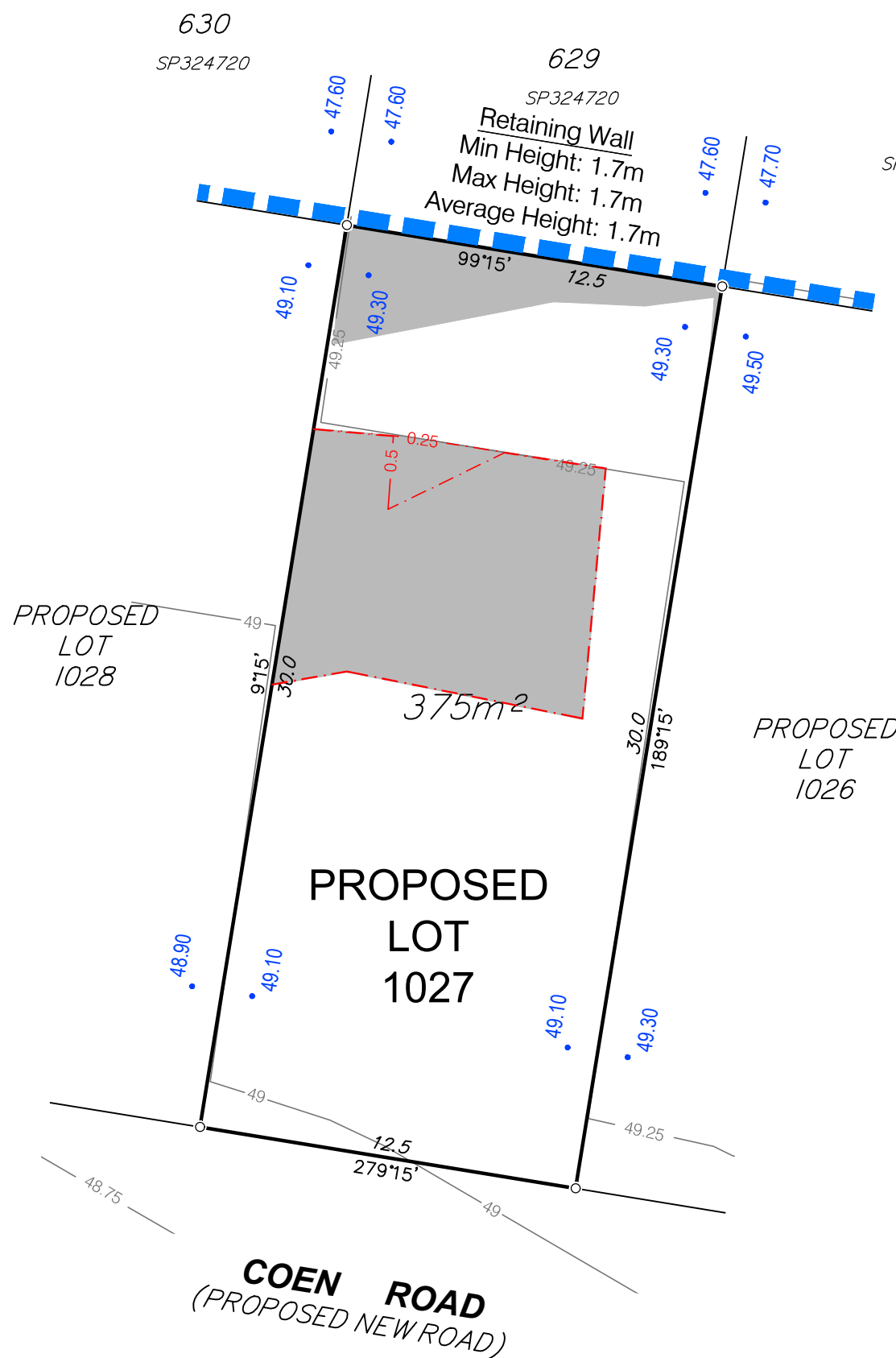
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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 031 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1027

This plan shows:

Details of Proposed Lot 1027 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



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SCALE 1:200 @ A3

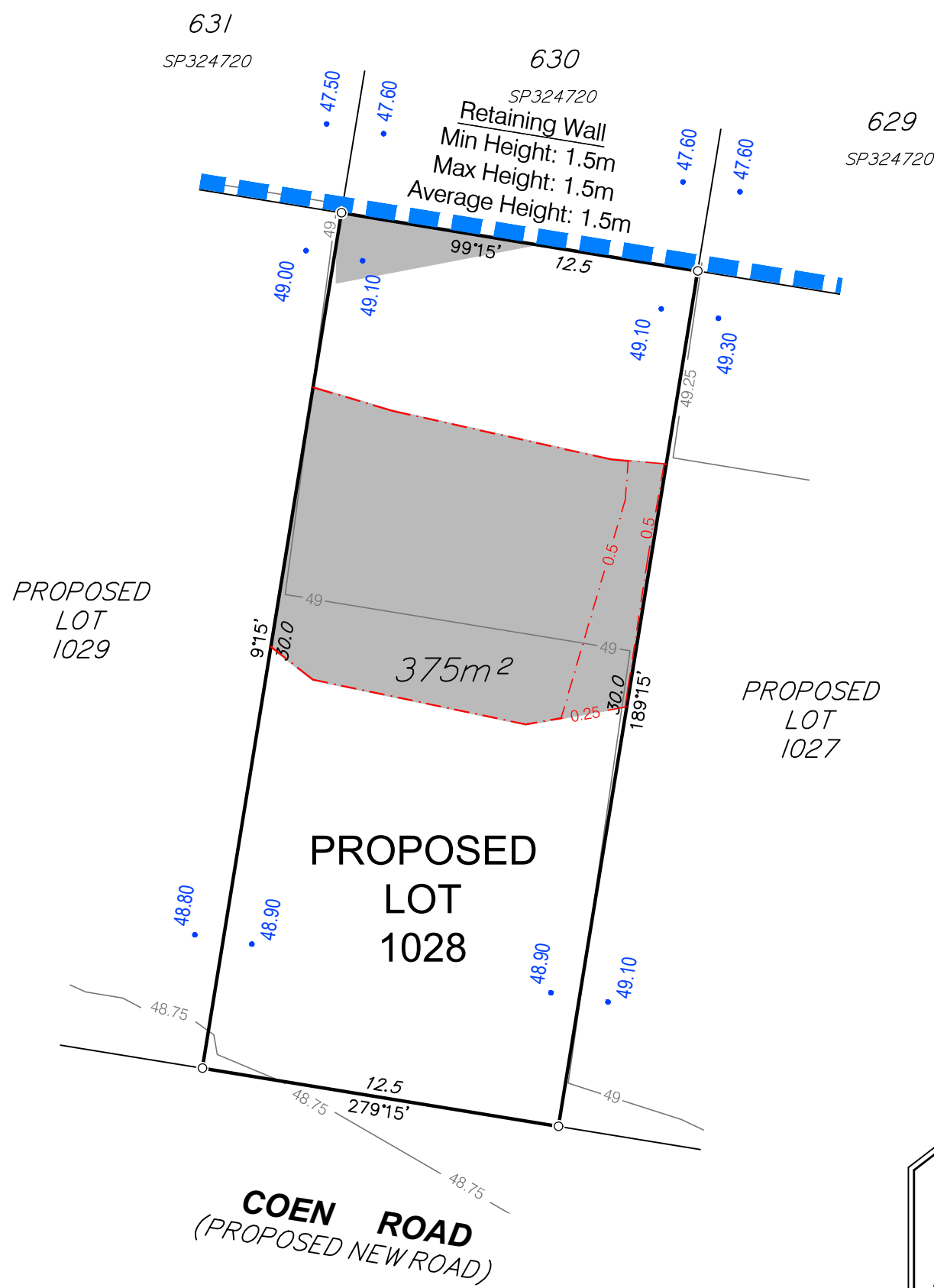
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| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 032 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1028

This plan shows:

Details of Proposed Lot 1028 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

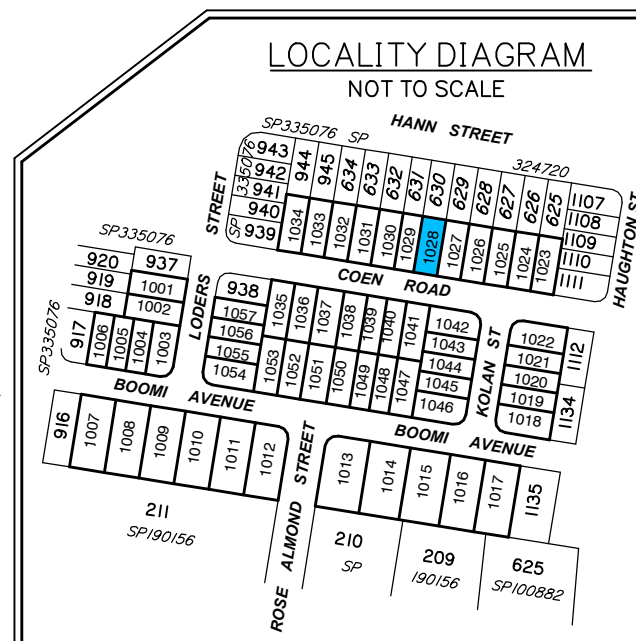
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

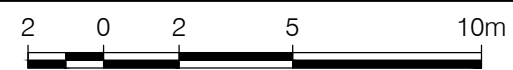
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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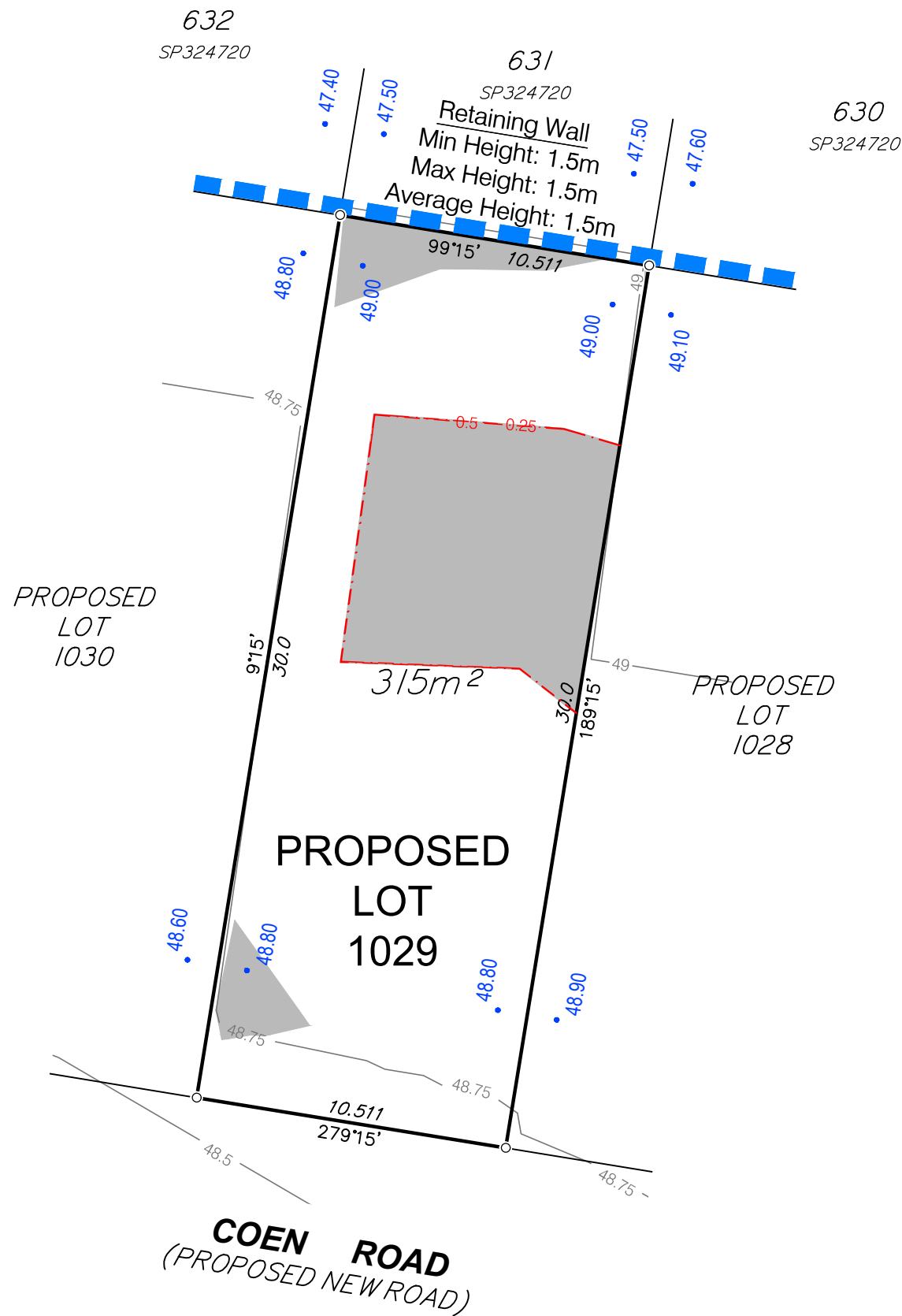
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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

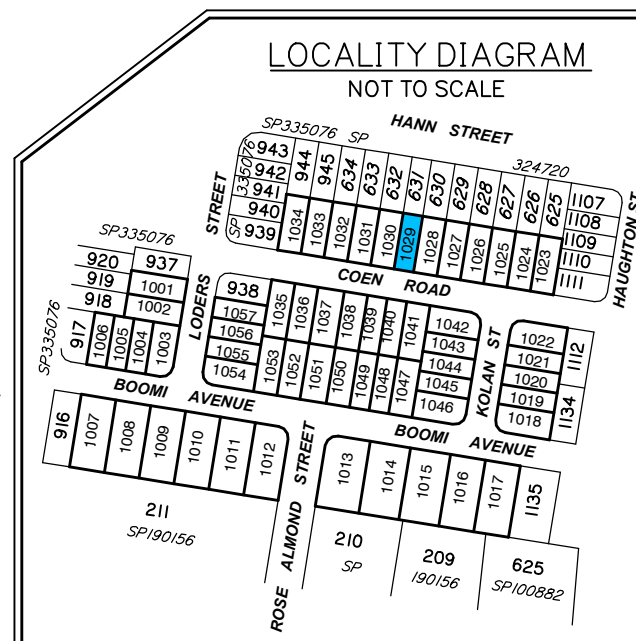
UDN
BRSS7455 - 010 - 033 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1029

This plan shows:

Details of Proposed Lot 1029 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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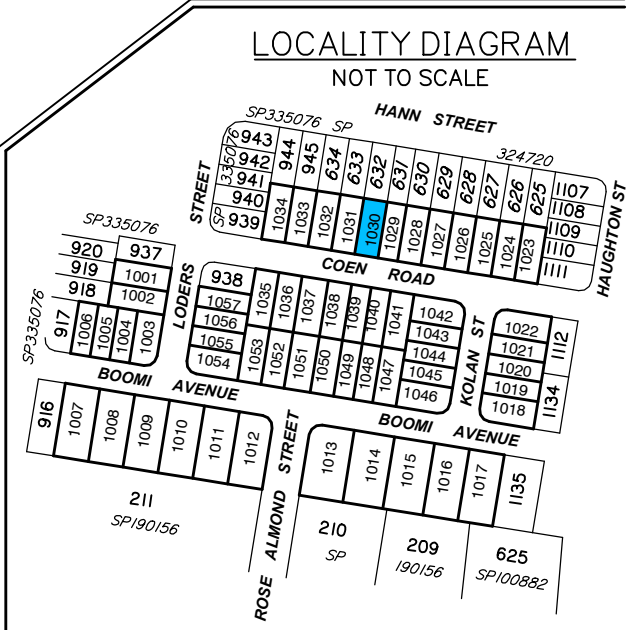
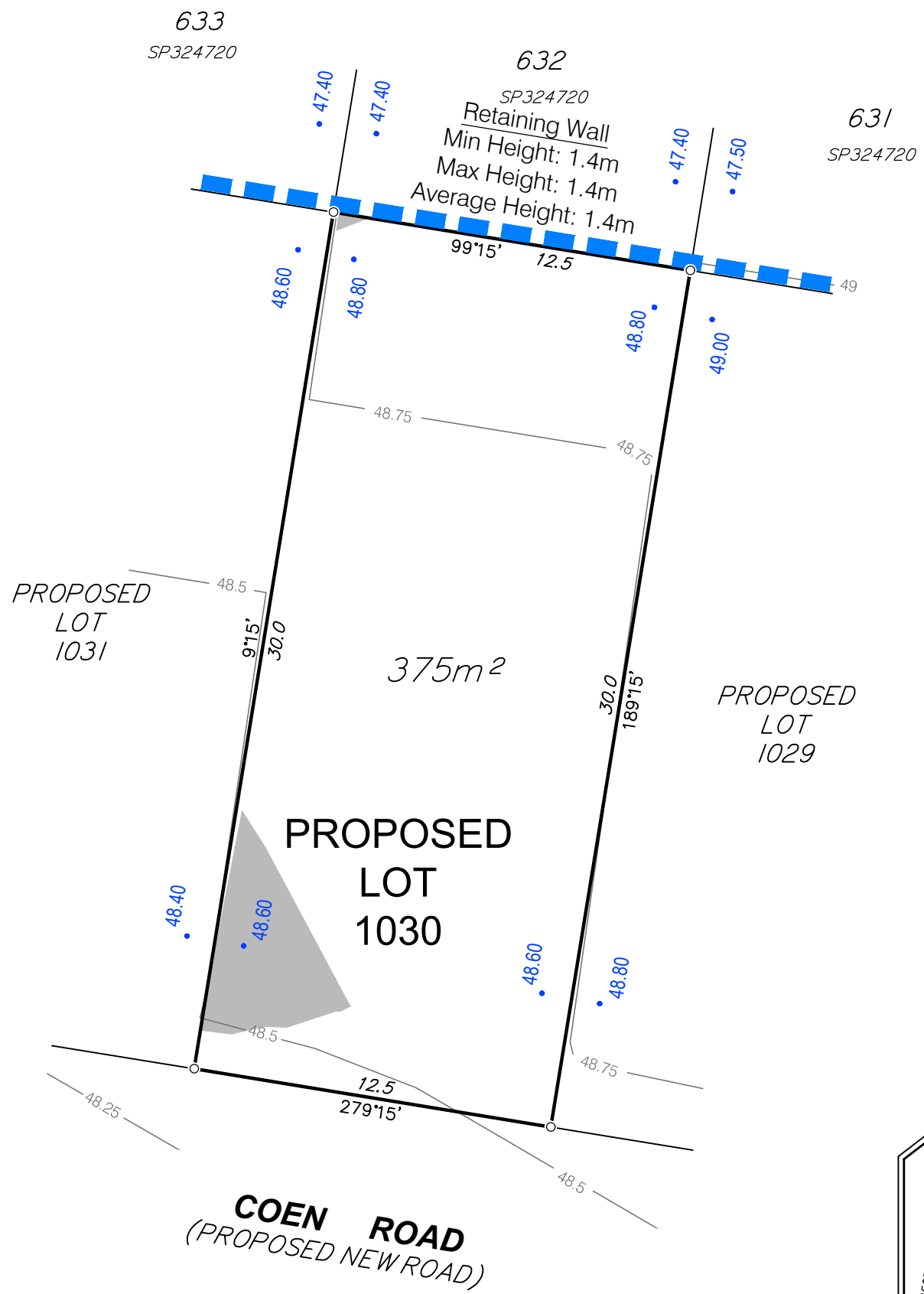
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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
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| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 034 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1030

This plan shows:

Details of Proposed Lot 1030 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

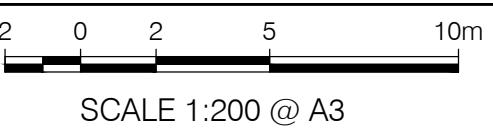
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ISO 45001 Occupational Health and Safety Management Systems CERTIFIED
AS/NZS 4801 Occupational Health and Safety Management Systems CERTIFIED

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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

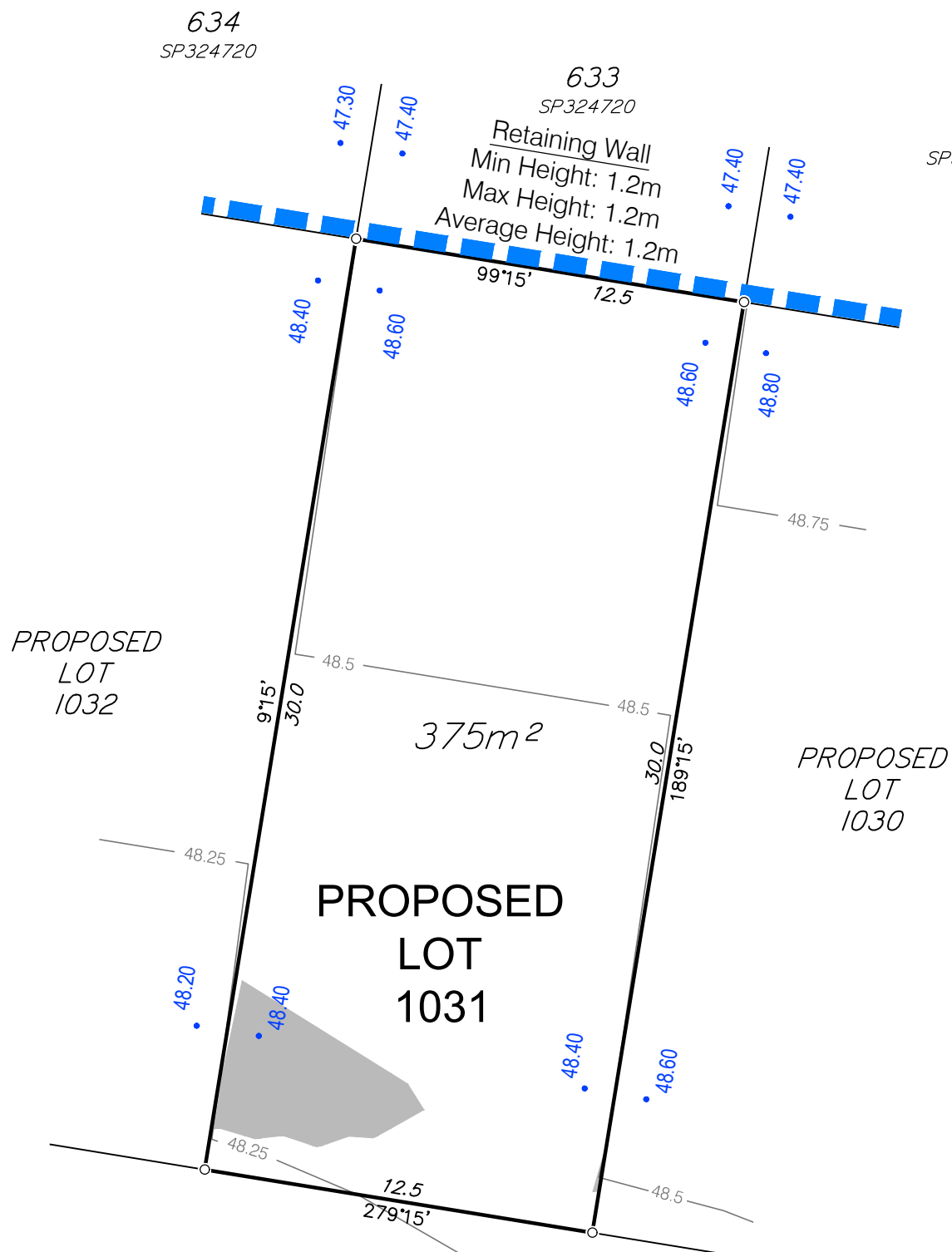


Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

UDN
BRSS7455 - 010 - 035 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1031

This plan shows:

Details of Proposed Lot 1031 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

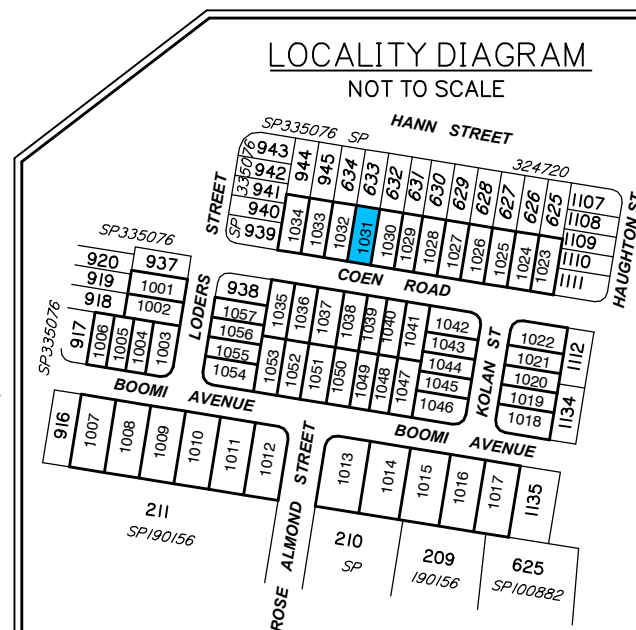
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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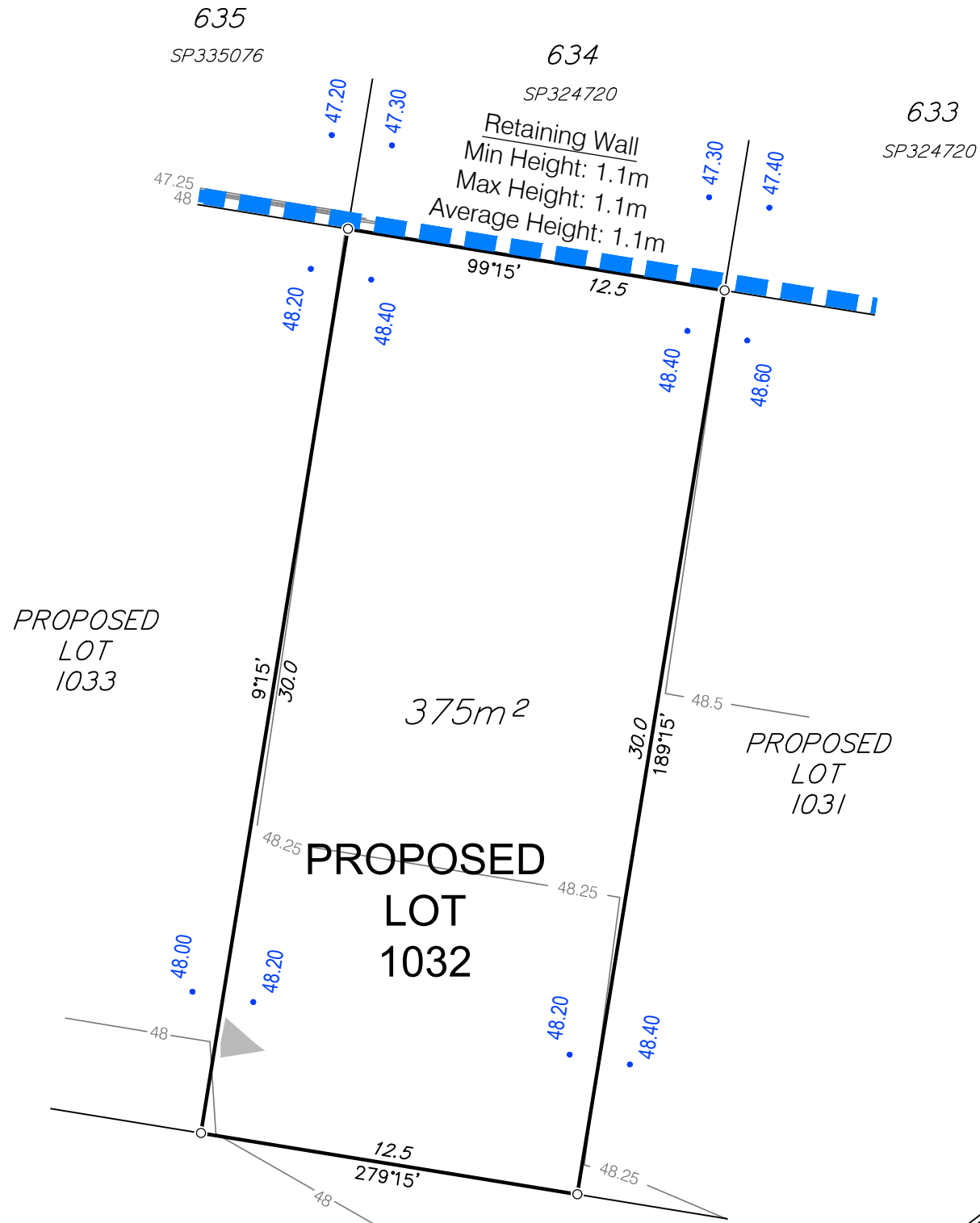
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SCALE 1:200 @ A3

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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 036 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1032

This plan shows:

Details of Proposed Lot 1032 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

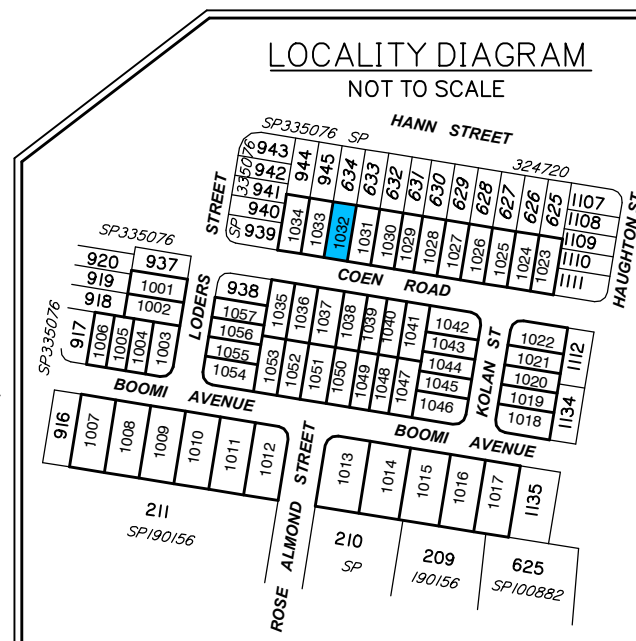
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

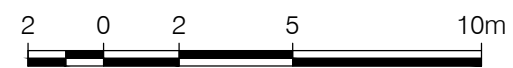
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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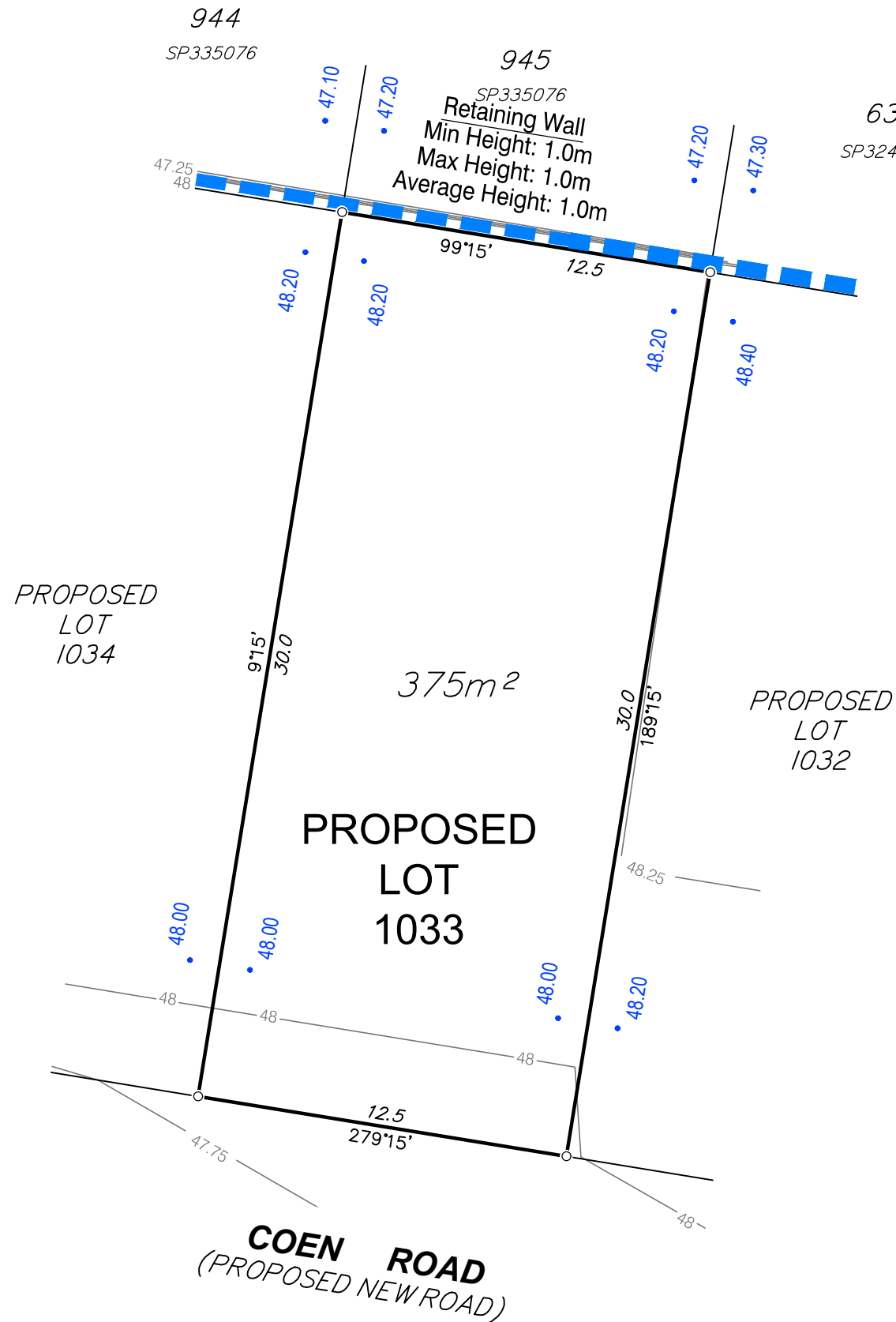
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SCALE 1:200 @ A3

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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 037 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1033

This plan shows:

Details of Proposed Lot 1033 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

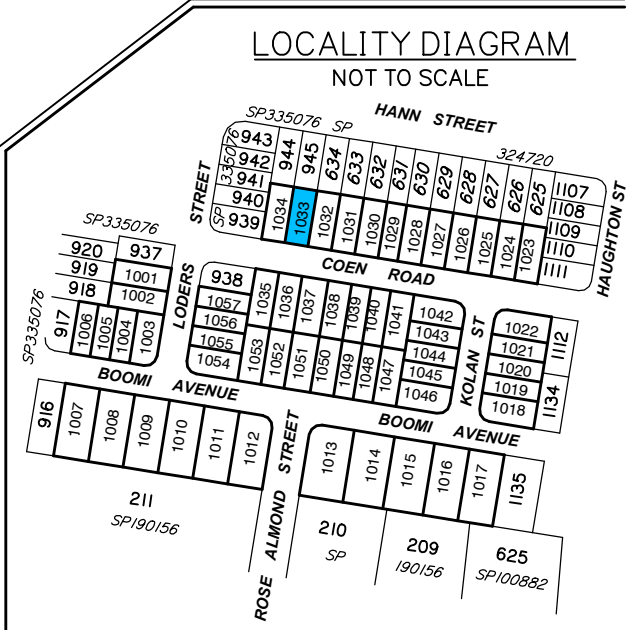
Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable, Finished Surface Levels (FSL): • 36.80

NOTE: This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

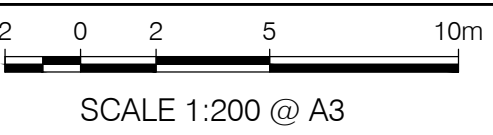
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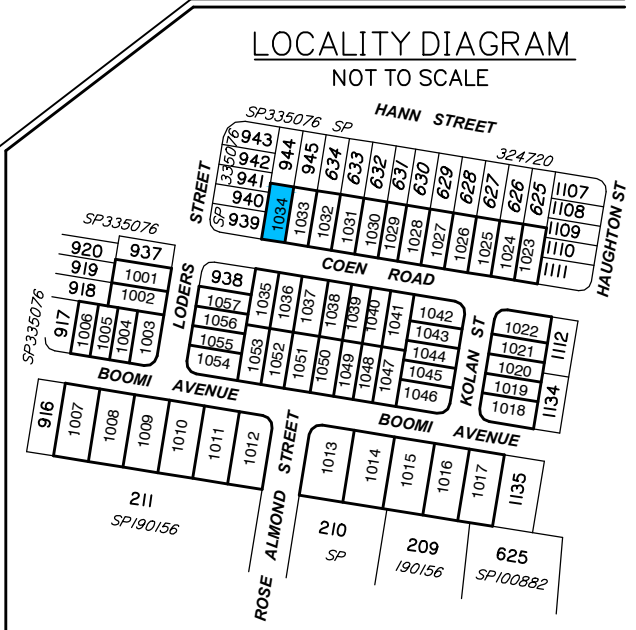
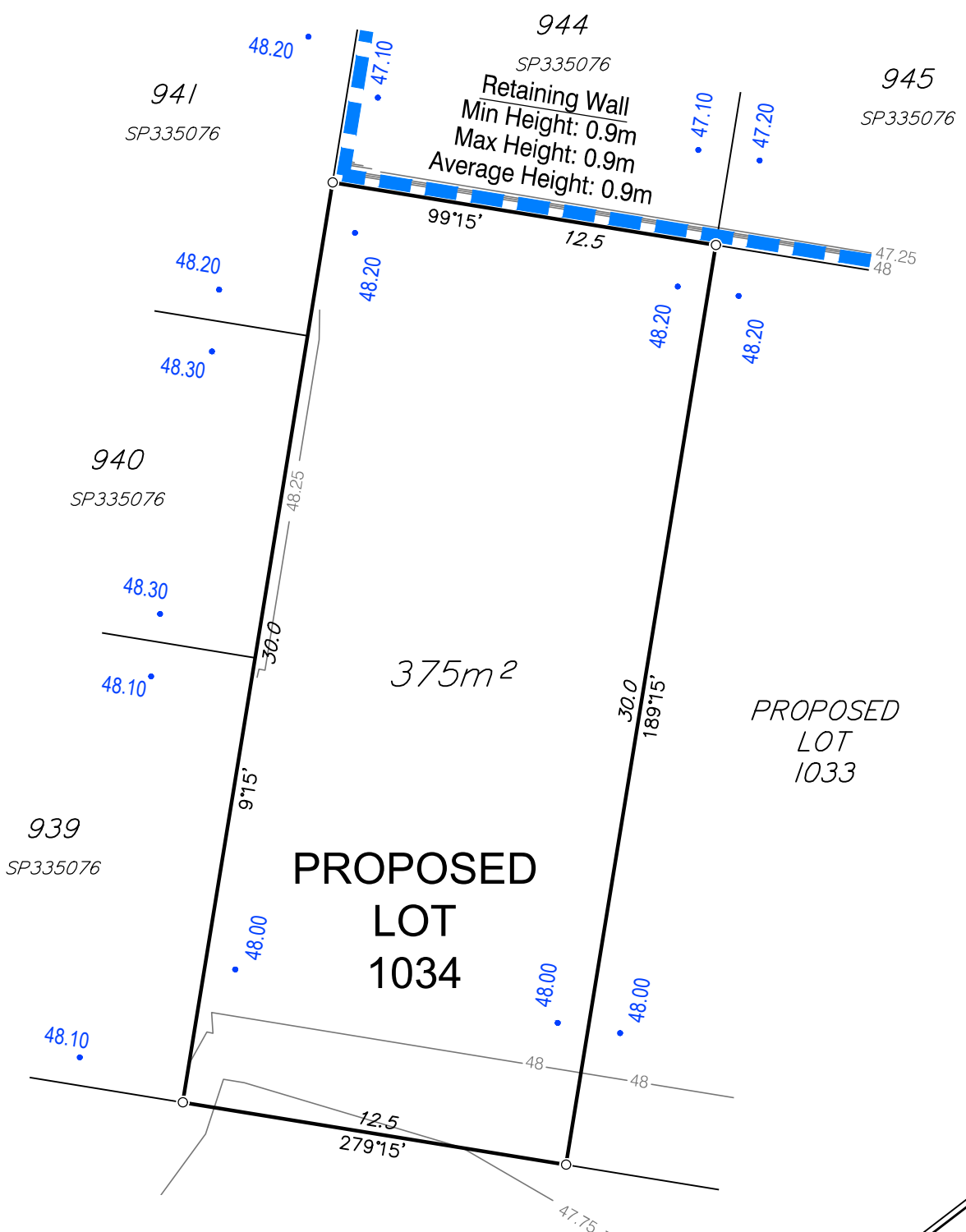
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ISO 45001 Occupational Health and Safety Management Systems CERTIFIED
AS/NZS 4801 Occupational Health and Safety Management Systems CERTIFIED

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| LEVEL DATUM | AHD | | |
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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |



UDN
BRSS7455 - 010 - 038 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1034

This plan shows:

Details of Proposed Lot 1034 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

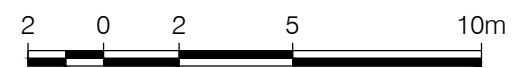
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:200 @ A3

LEVEL DATUM AHD

LEVEL ORIGIN PSM165225 RL38.006

COMPUTER FILE BRSS7455-010-5-1

SCALE 1:200

DRAWN KDM DATE 17/08/2023

CHECKED SHL DATE 17/08/2023

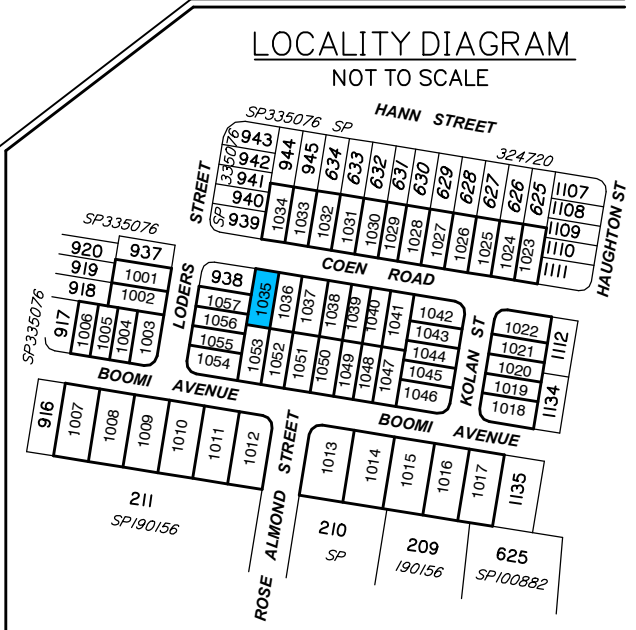
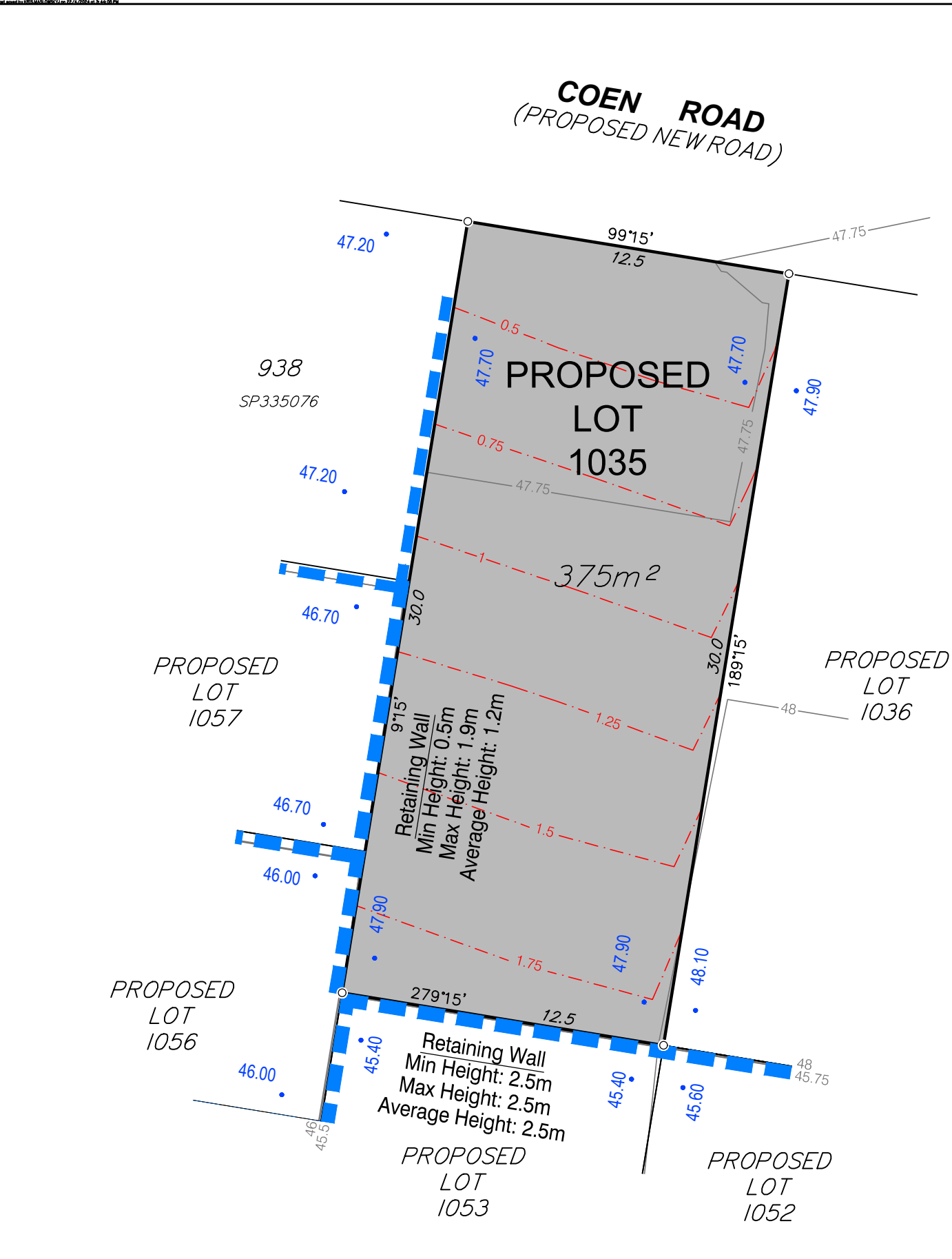
APPROVED RGA DATE 17/08/2023

UDN
BRSS7455 - 010 - 039 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1035

This plan shows:

Details of Proposed Lot 1035 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

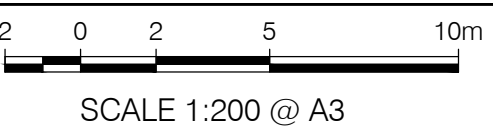
Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

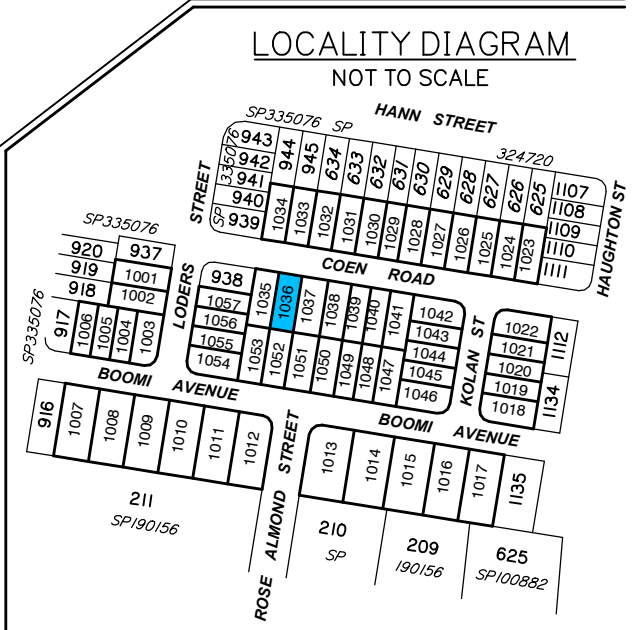
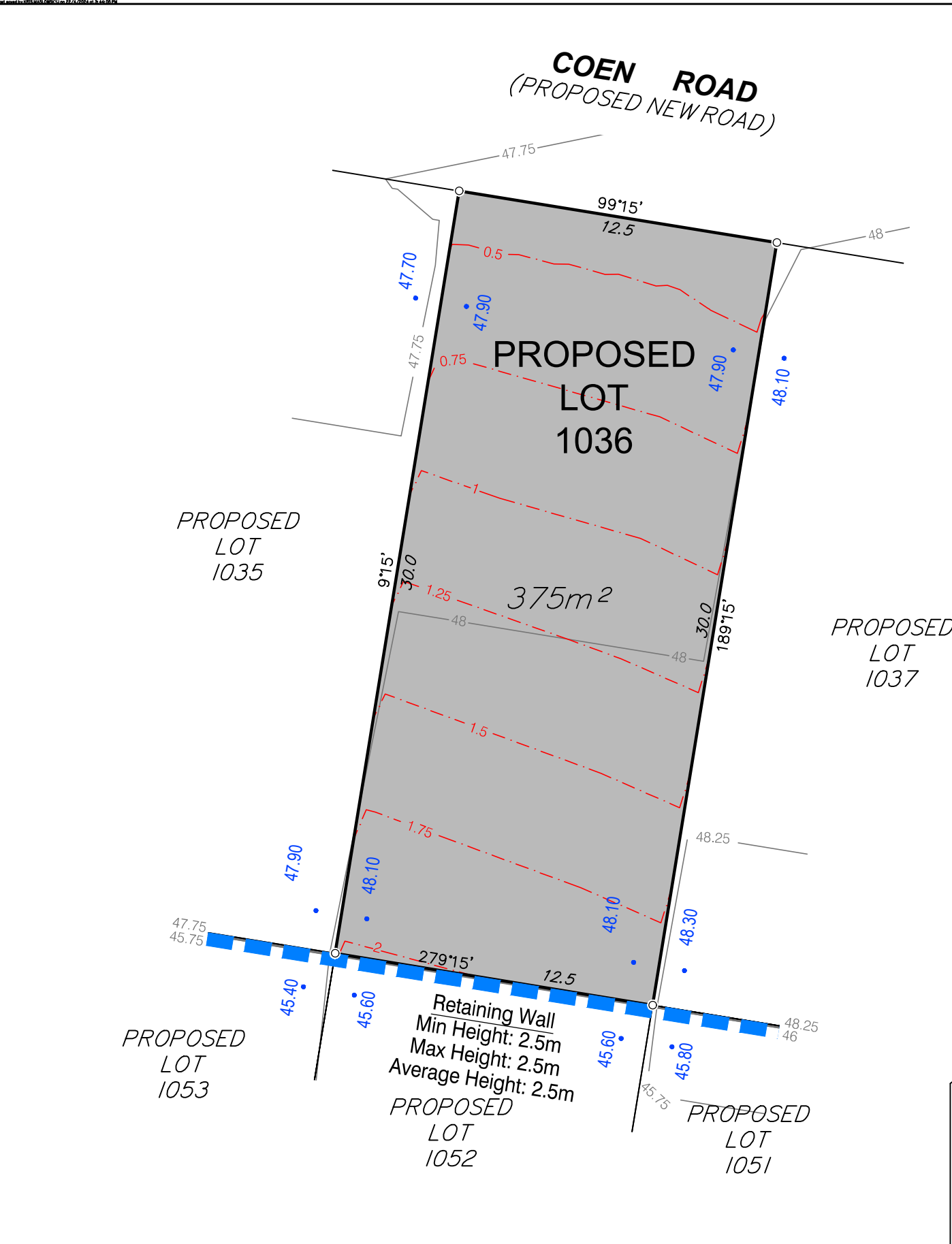


Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

UDN
BRSS7455 - 010 - 040 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1036

This plan shows:

Details of Proposed Lot 1036 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

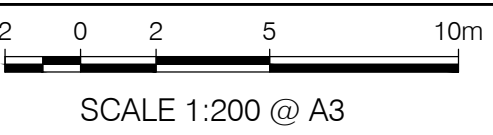
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ISO 45001 Occupational Health and Safety Management Systems CERTIFIED
AS/NZS 4801 Occupational Health and Safety Management Systems CERTIFIED

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |



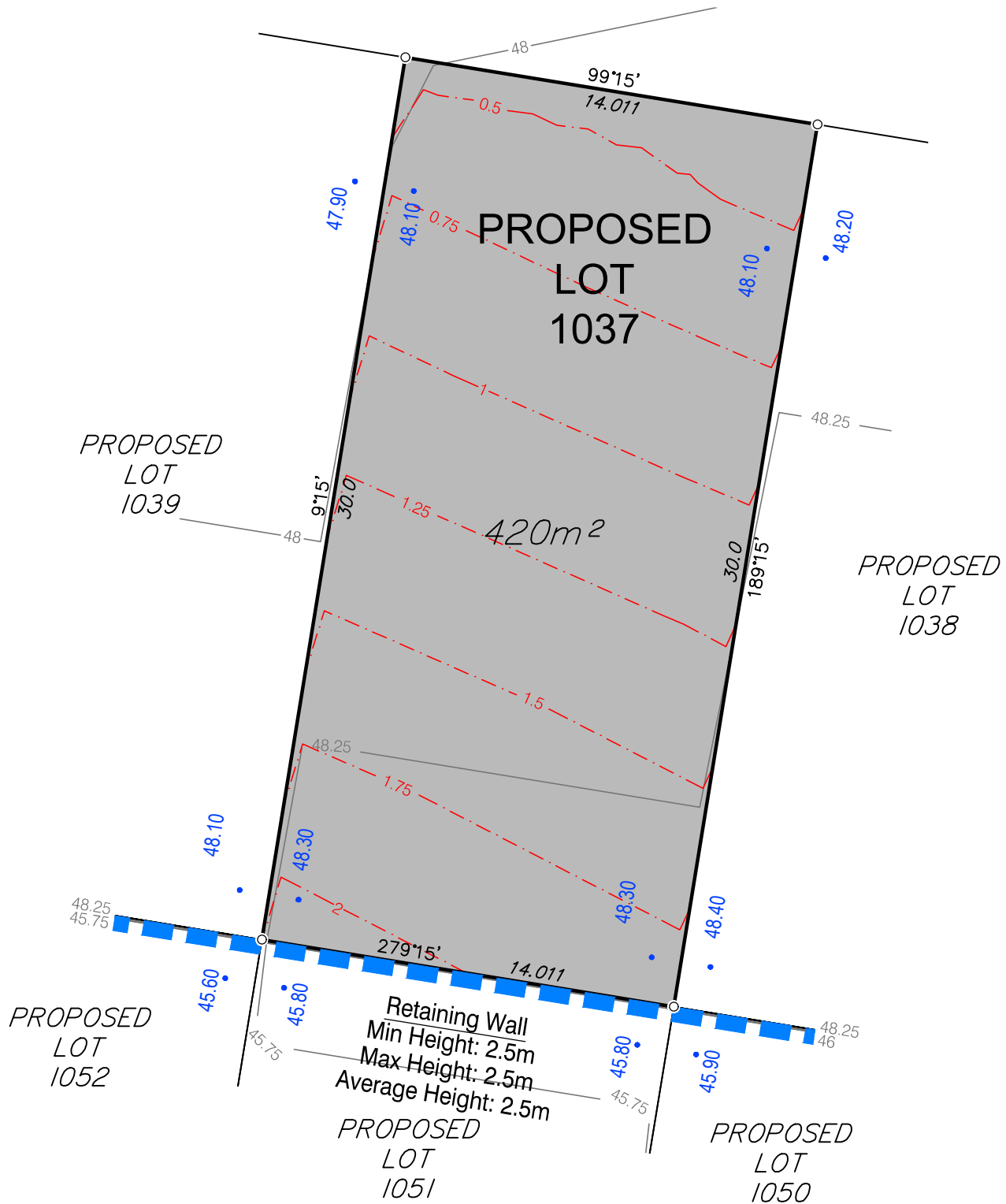
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

UDN
BRSS7455 - 010 - 041 - 1

**COEN ROAD
(PROPOSED NEW ROAD)**



DISCLOSURE PLAN FOR PROPOSED LOT 1037

This plan shows:

Details of Proposed Lot 1037 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as:

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.4m to 2.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as:

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

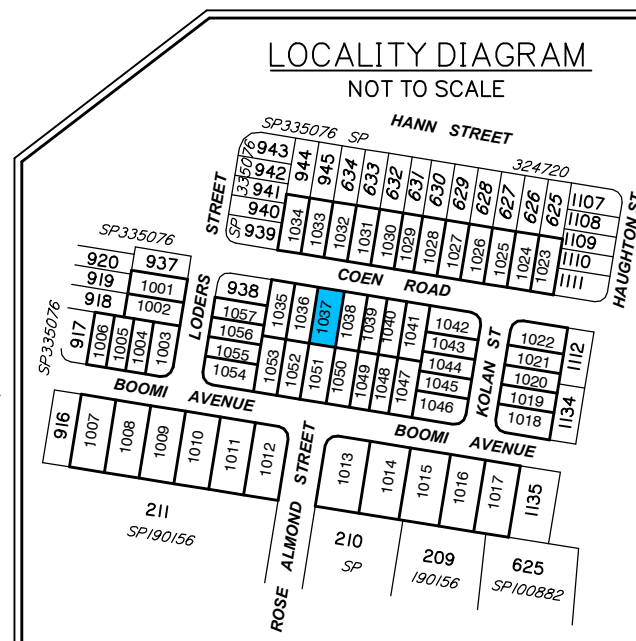
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

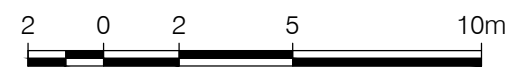
Where applicable,
Finished Surface Levels (FSL): 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



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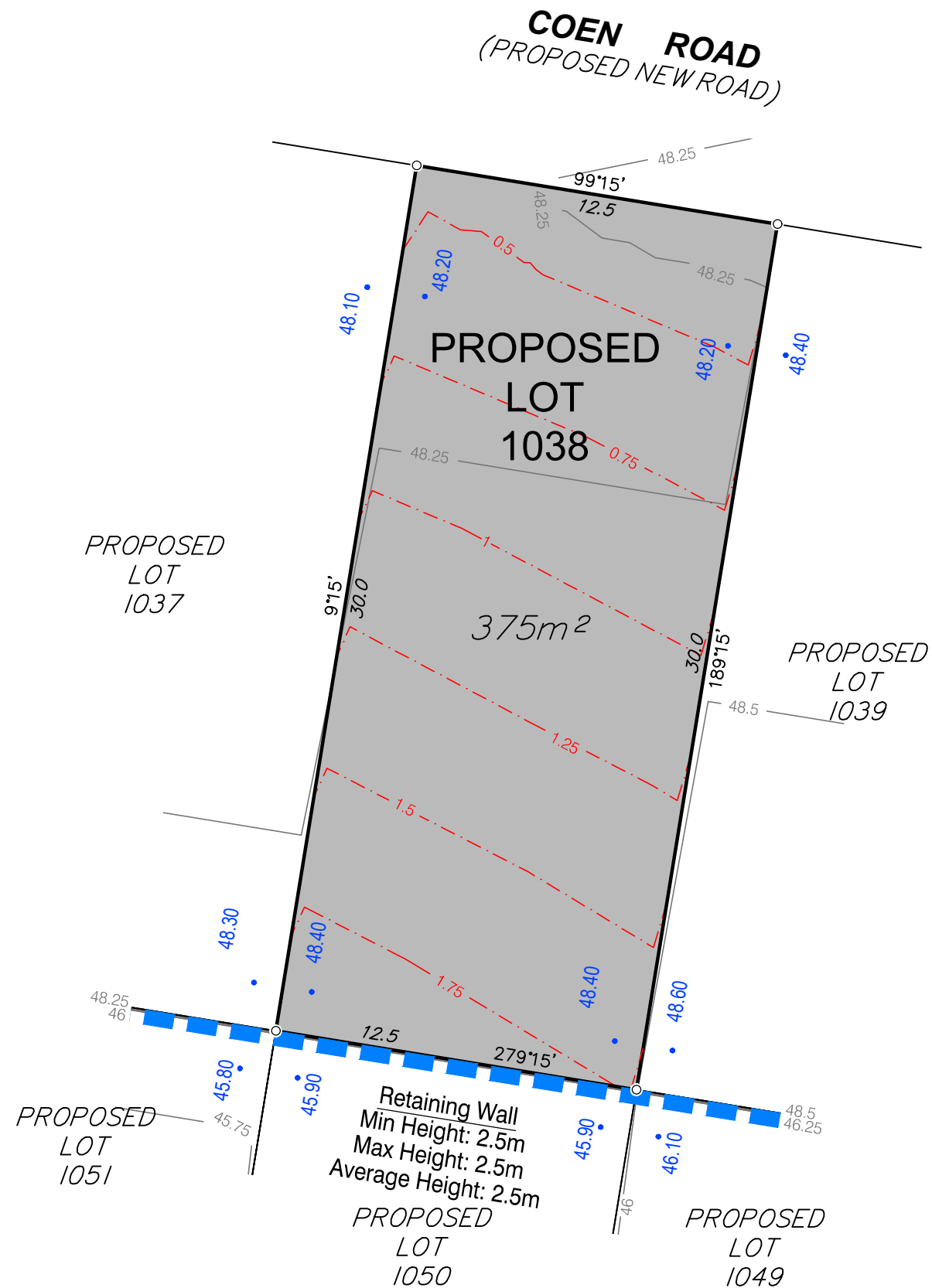
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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
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| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 042 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1038

This plan shows:

Details of Proposed Lot 1038 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.4m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

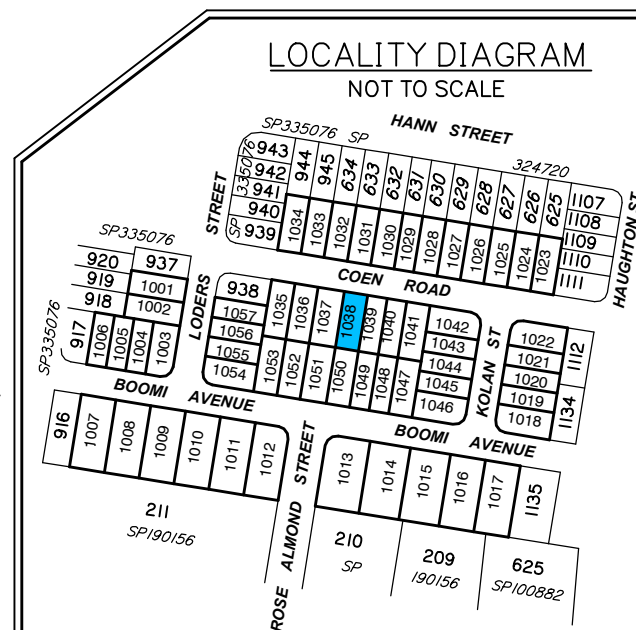
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

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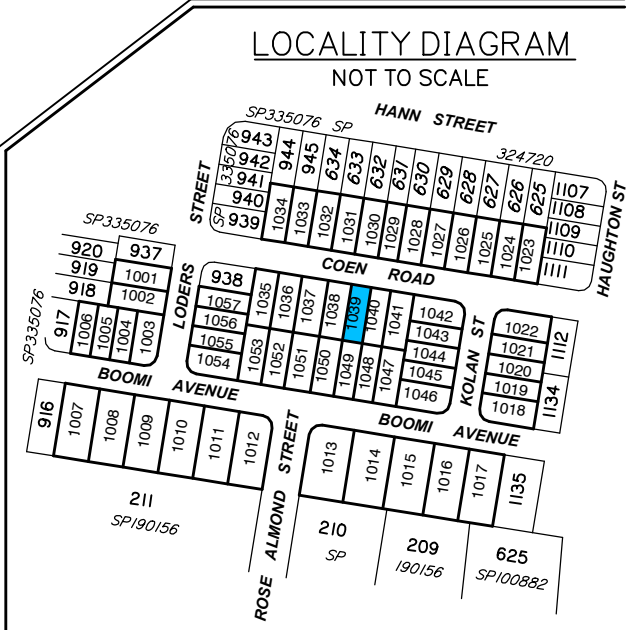
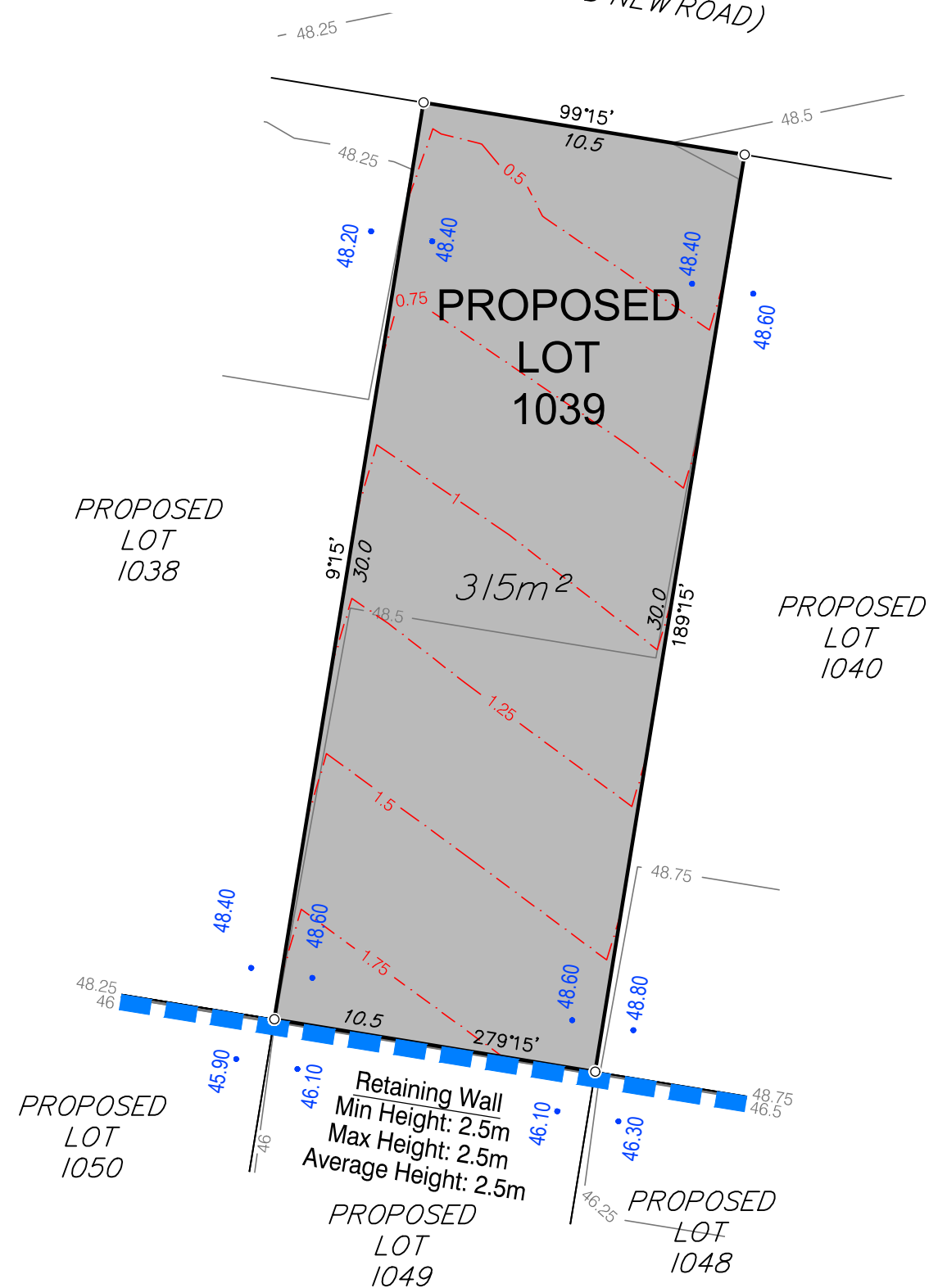
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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



SCALE 1:200 @ A3

UDN
BRSS7455 - 010 - 043 - 1

**COEN ROAD
(PROPOSED NEW ROAD)**



DISCLOSURE PLAN FOR PROPOSED LOT 1039

This plan shows:

Details of Proposed Lot 1039 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.4m to 1.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

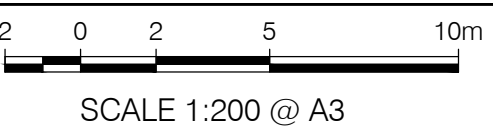


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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



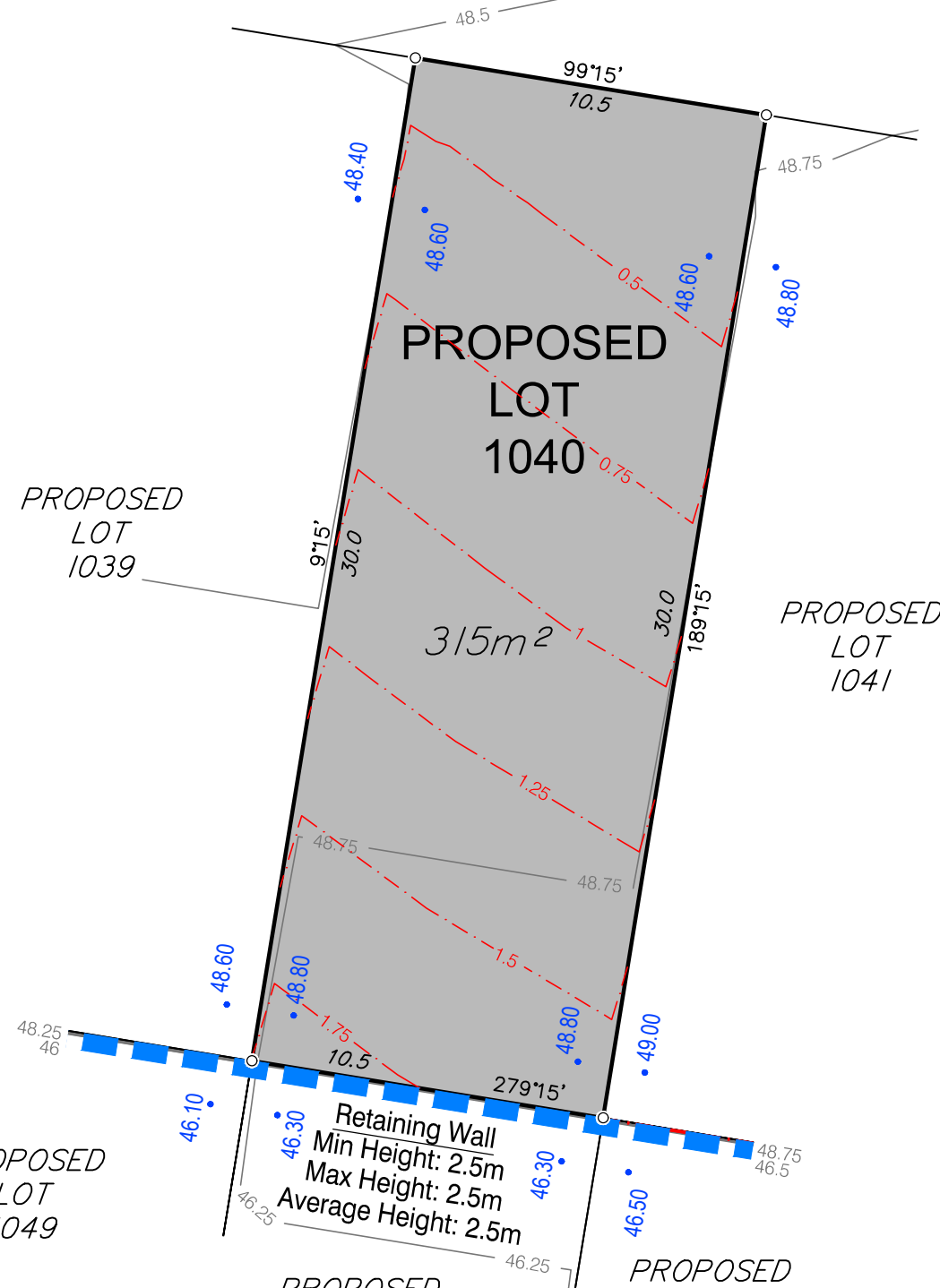
UDN
BRSS7455 - 010 - 044 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

**COEN ROAD
(PROPOSED NEW ROAD)**



DISCLOSURE PLAN FOR PROPOSED LOT 1040

This plan shows:

Details of Proposed Lot 1040 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 1.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

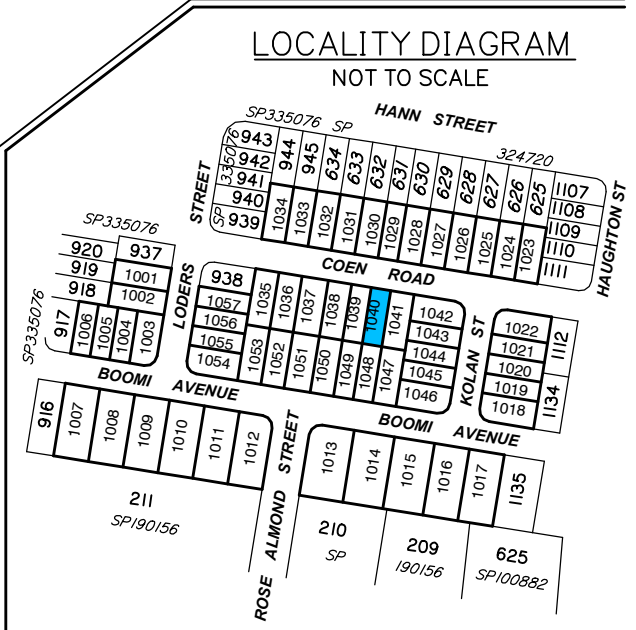
Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

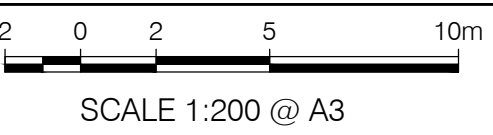
Where applicable, Finished Surface Levels (FSL): 36.80

NOTE: This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

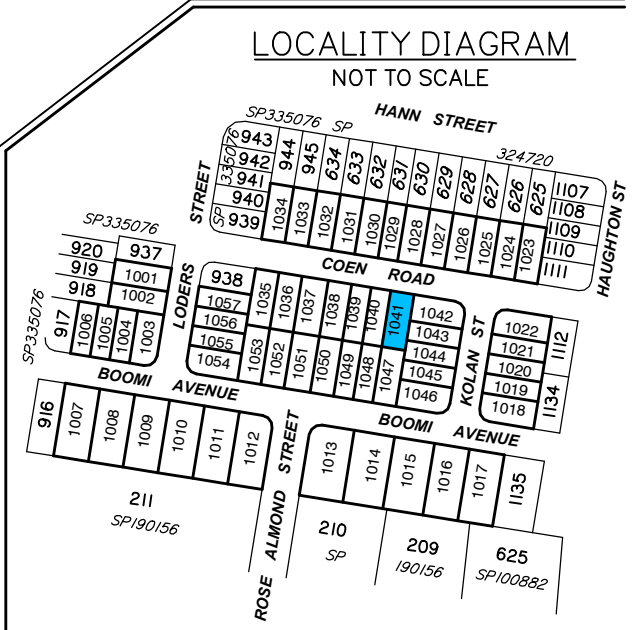
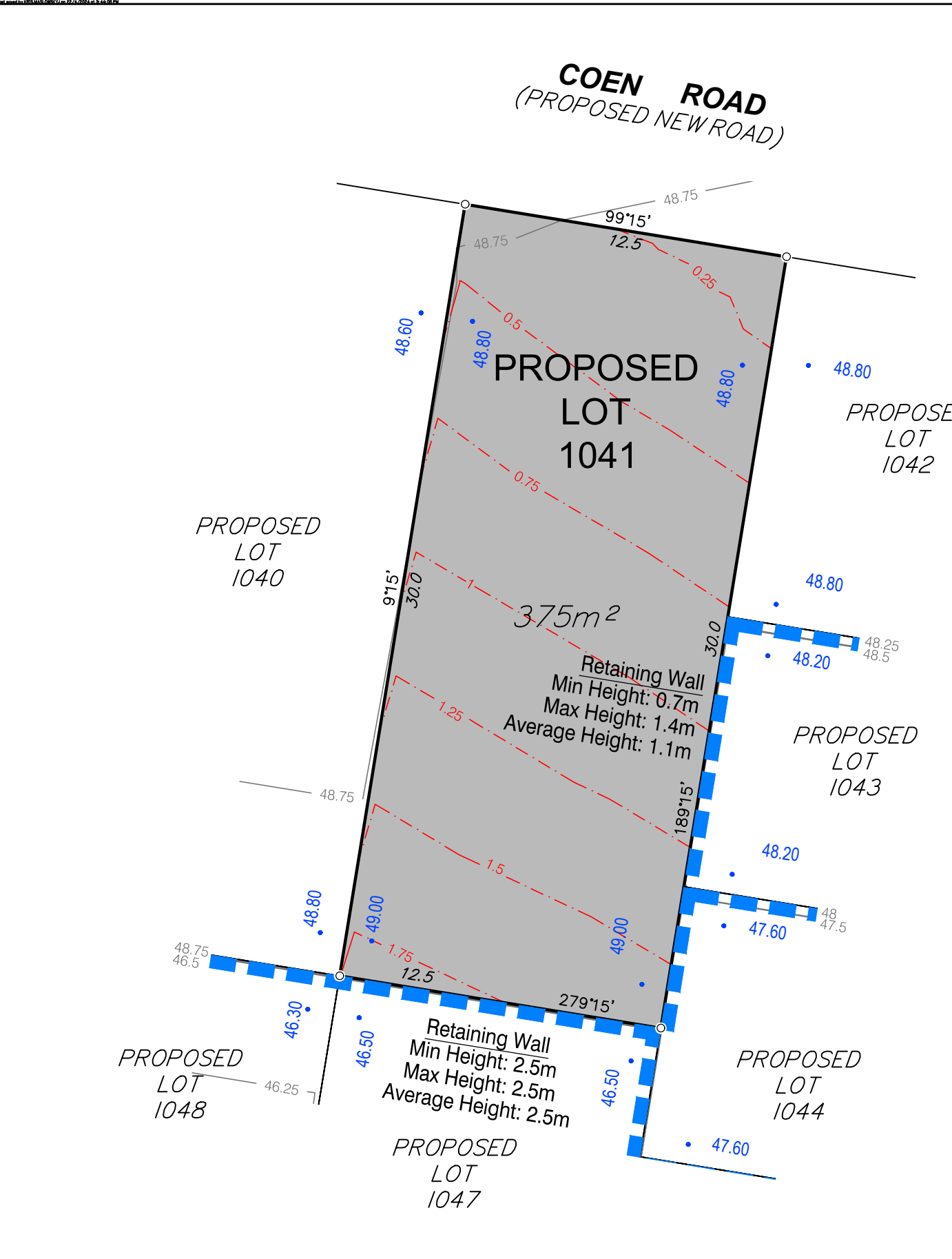
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| COMPUTER FILE | BRSS7455-010-5-2 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 29/08/2023 |



UDN
BRSS7455 - 010 - 045 - 2



DISCLOSURE PLAN FOR PROPOSED LOT 1041

This plan shows:

Details of Proposed Lot 1041 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.2m to 1.8m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

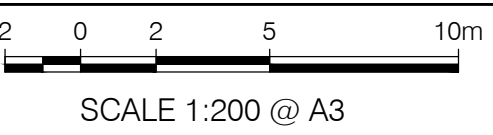
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ISO 45001 Occupational Health and Safety Management Systems CERTIFIED
AS/NZS 4801 Occupational Health and Safety Management Systems CERTIFIED

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

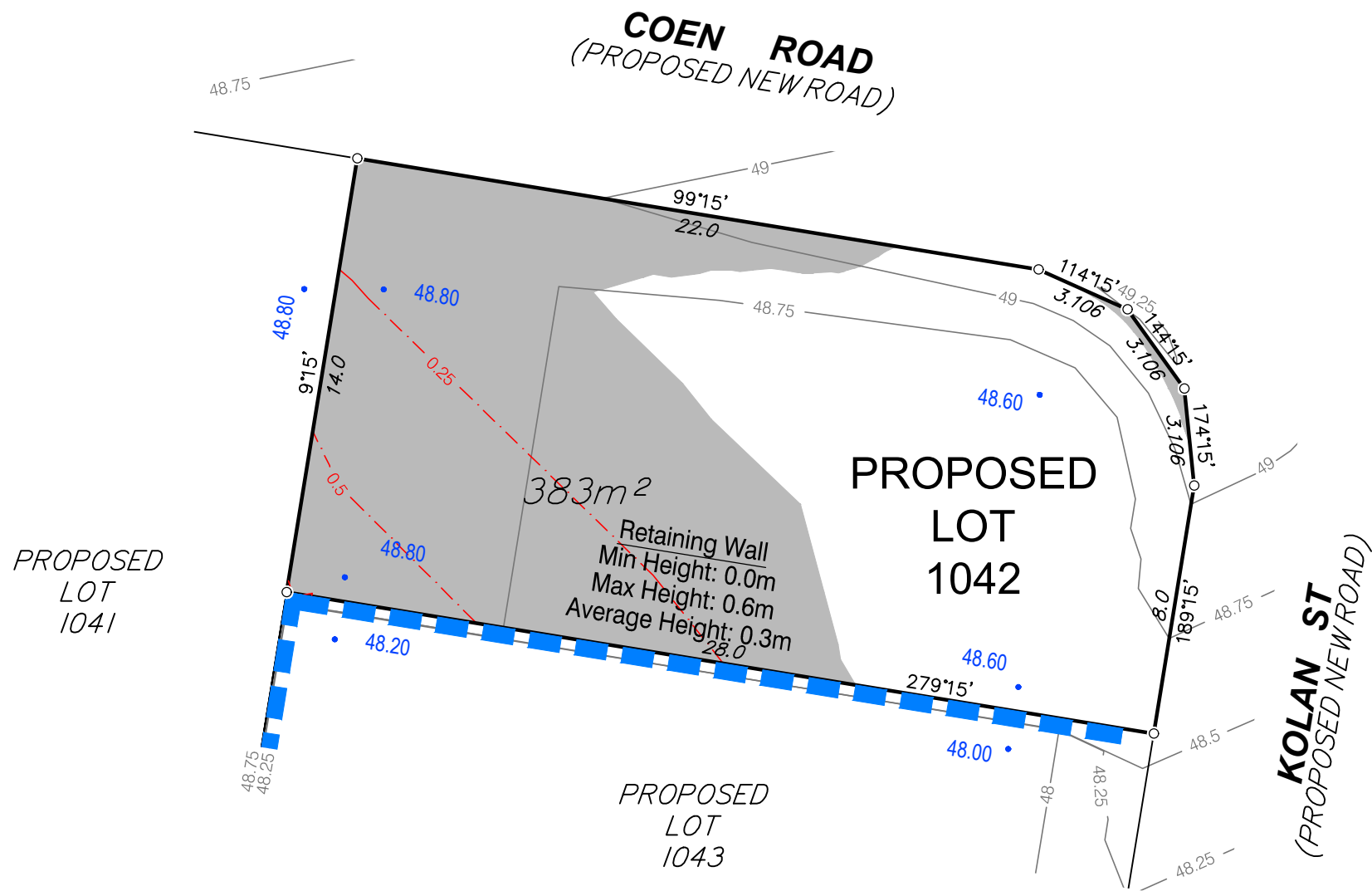


UDN
BRSS7455 - 010 - 046 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1042

This plan shows:

Details of Proposed Lot 1042 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.8m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

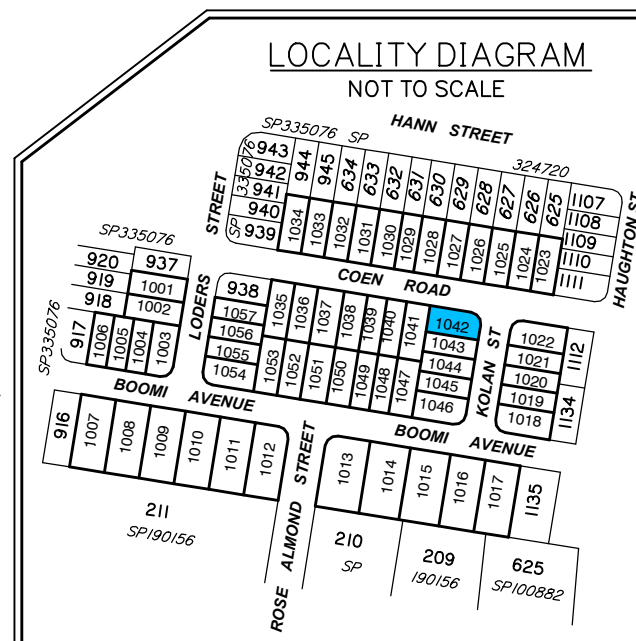
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): ● 36.80

NOTE:
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SCALE 1:200 @ A3

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| LEVEL ORIGIN | PSM165225 RL38.006 | | |
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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 047 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1043

This plan shows:

Details of Proposed Lot 1043 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

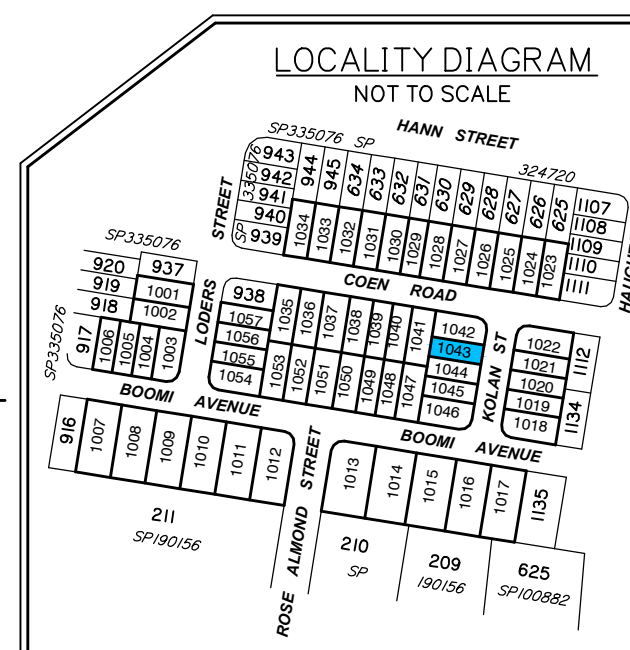
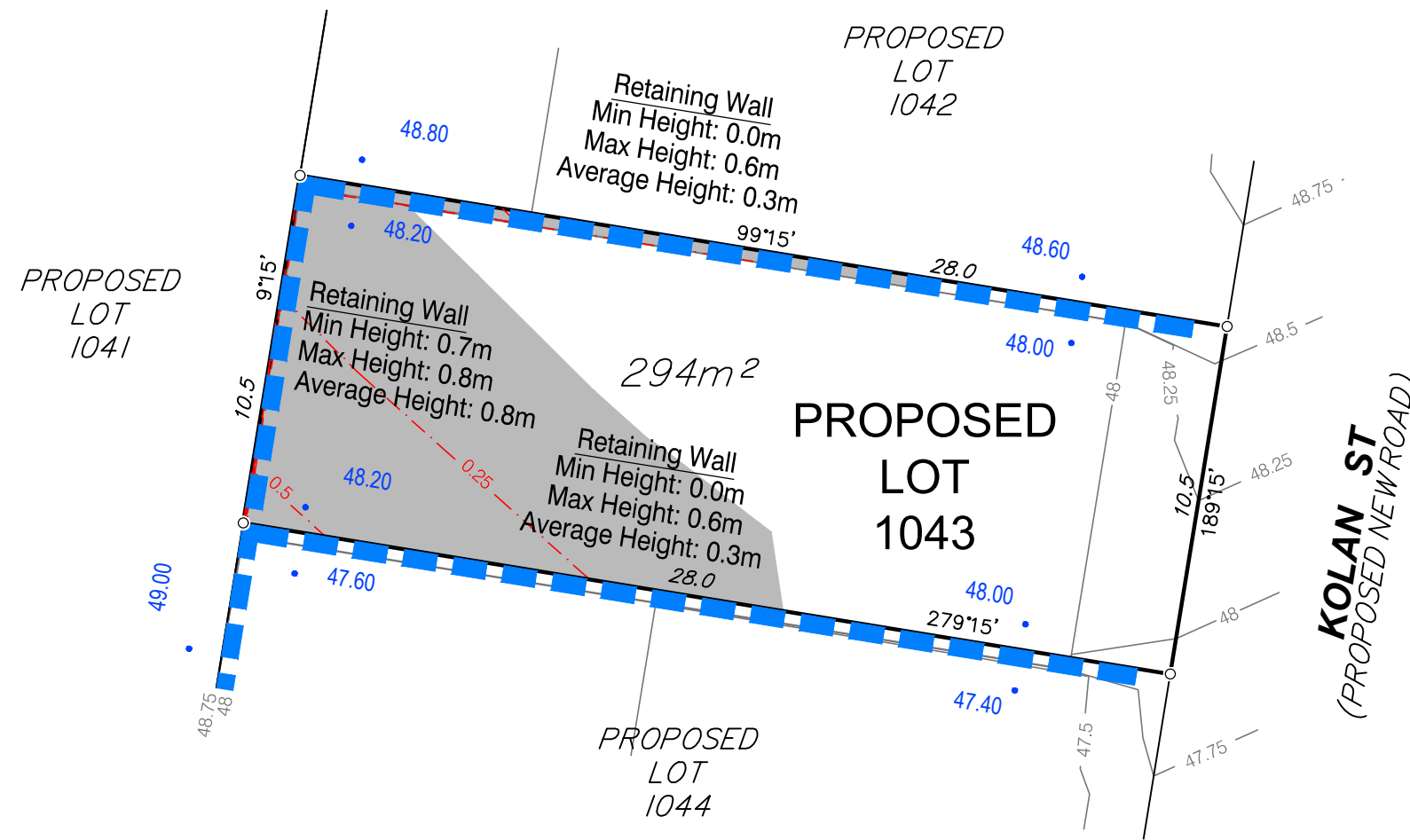
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E: info@landpartners.com.au
W: www.landpartners.com.au



SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 048 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1044

This plan shows:

Details of Proposed Lot 1044 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as:

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

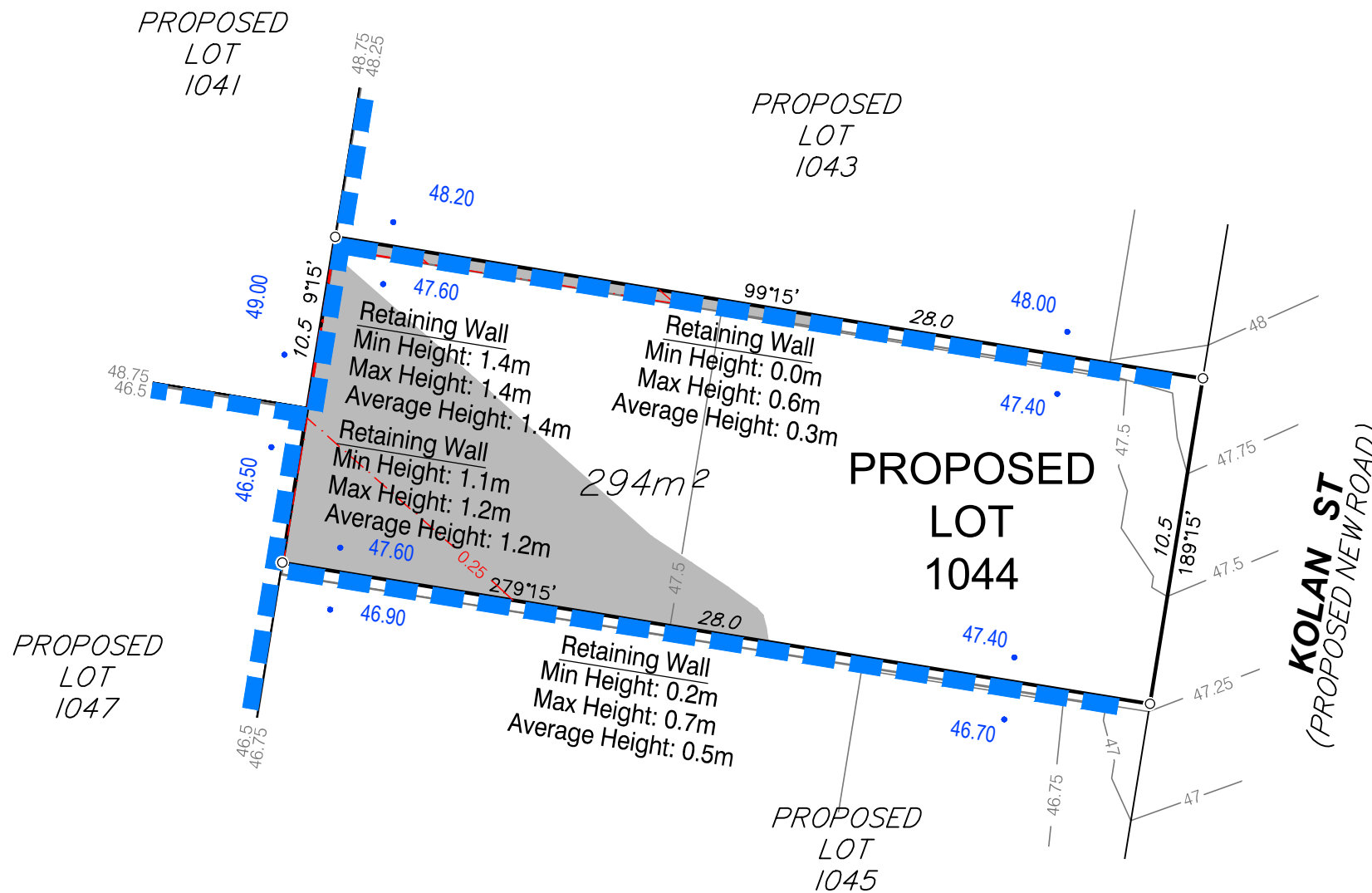
Fill ranges in depth from 0.0m to 1.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as:

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.



PROPOSED LOT 1047

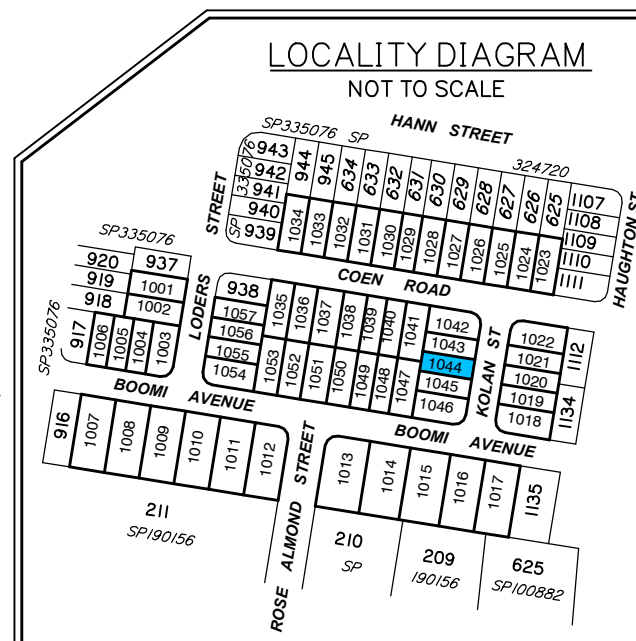
PROPOSED LOT 1041

PROPOSED LOT 1043

PROPOSED LOT 1044

PROPOSED LOT 1045

KOLAN ST
(PROPOSED NEW ROAD)



Project:

**PEBBLE CREEK
STAGE 10**

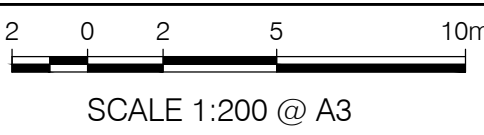
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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Milton Qld 4064

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



UDN
BRSS7455 - 010 - 049 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1045

This plan shows:

Details of Proposed Lot 1045 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Brisbane Office
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18 Little Cribb Street
Milton Qld 4064
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Milton Qld 4064

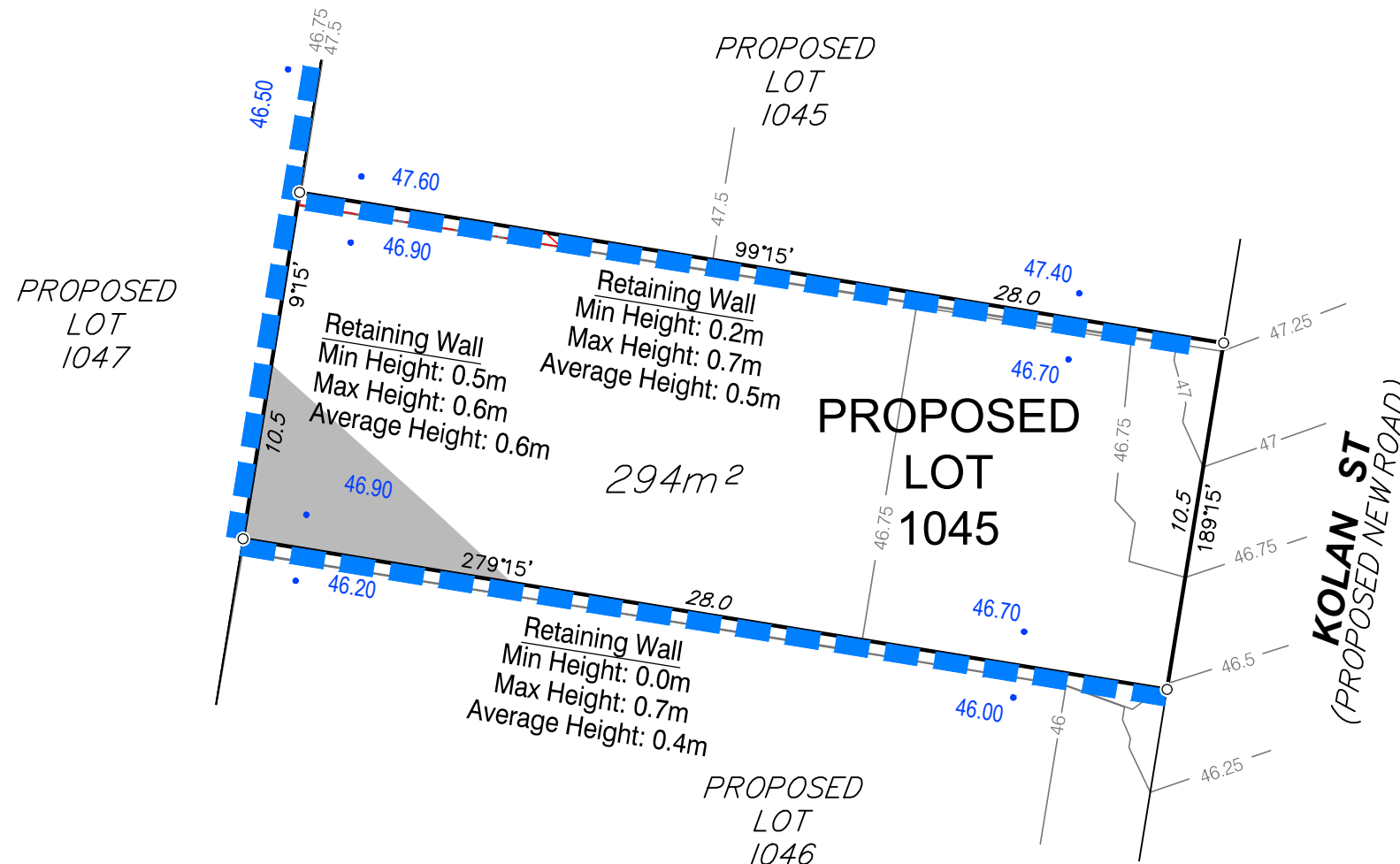
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SCALE 1:200 @ A3

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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 050 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1046

This plan shows:

Details of Proposed Lot 1046 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as:

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as:

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064
PO Box 1399
Milton Qld 4064

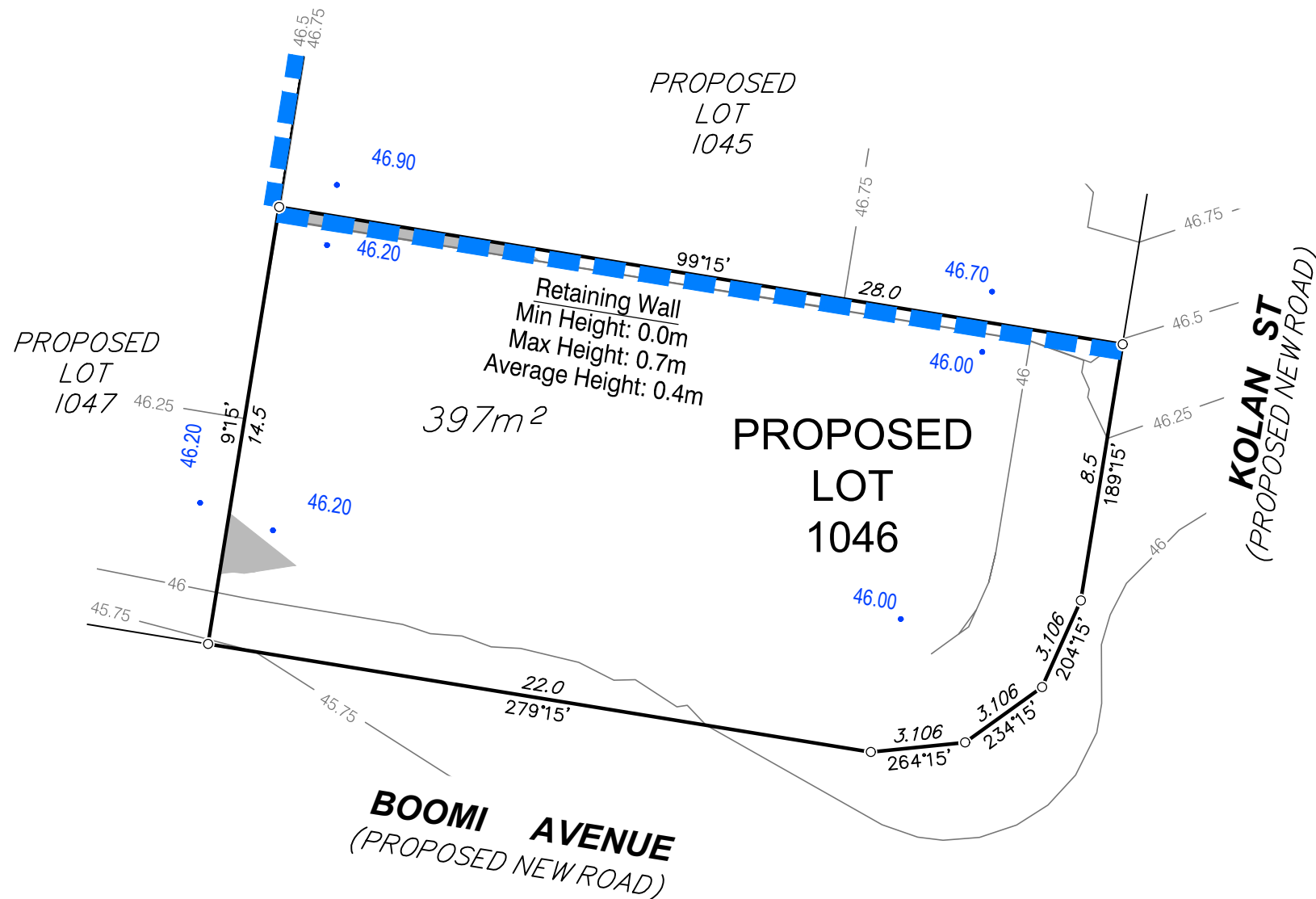
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SCALE 1:200 @ A3

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| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 051 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1047

This plan shows:


Details of Proposed Lot 1047 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: 

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: 

Fill ranges in depth from 0.0m to 1.8m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
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PO Box 1399
Milton Qld 4064

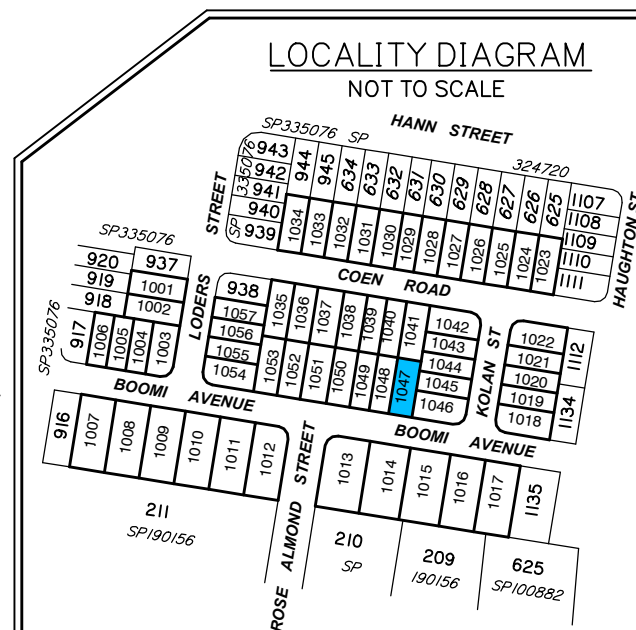
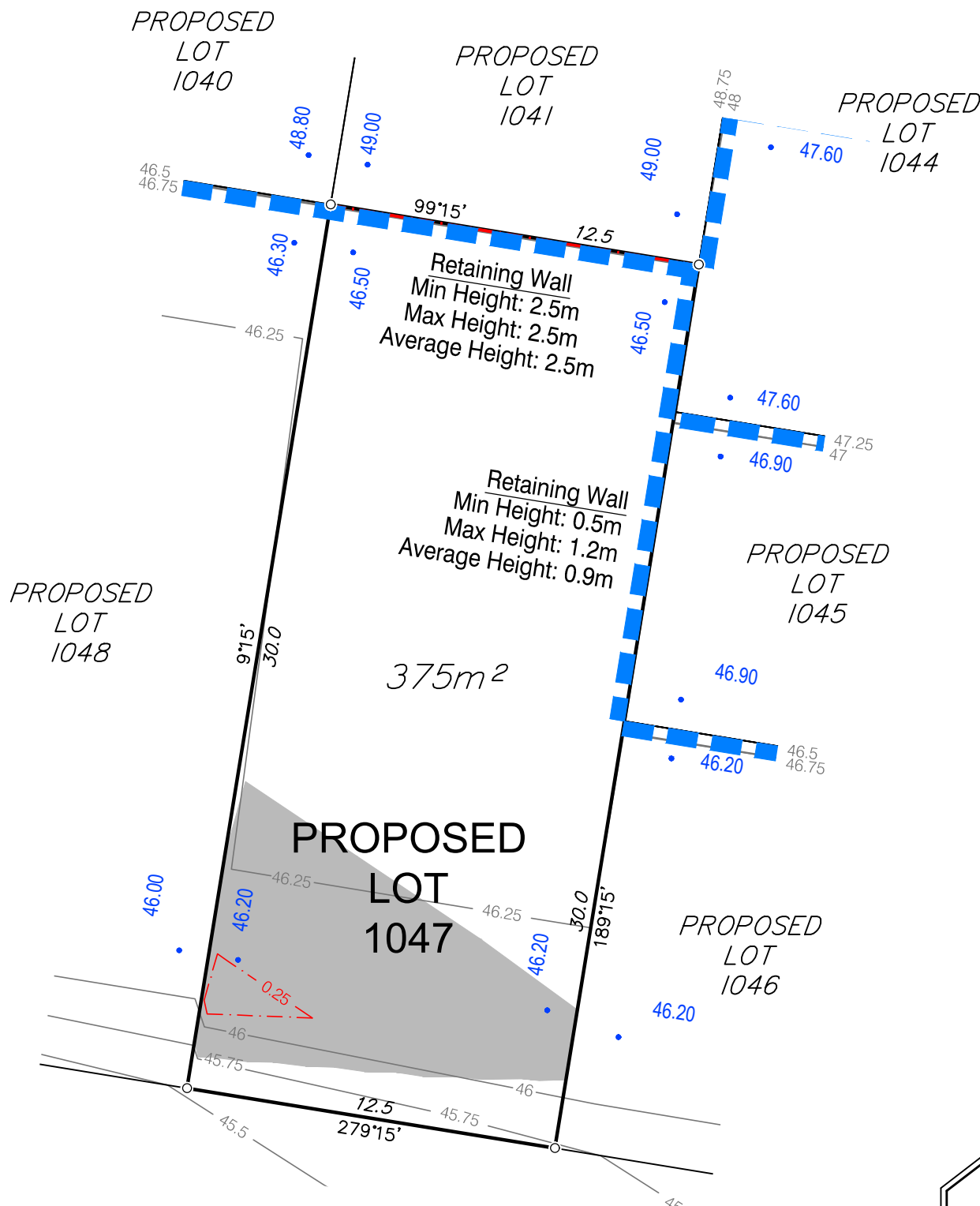
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SCALE 1:200 @ A3

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| APPROVED | RG | DATE | 17/08/2023 |

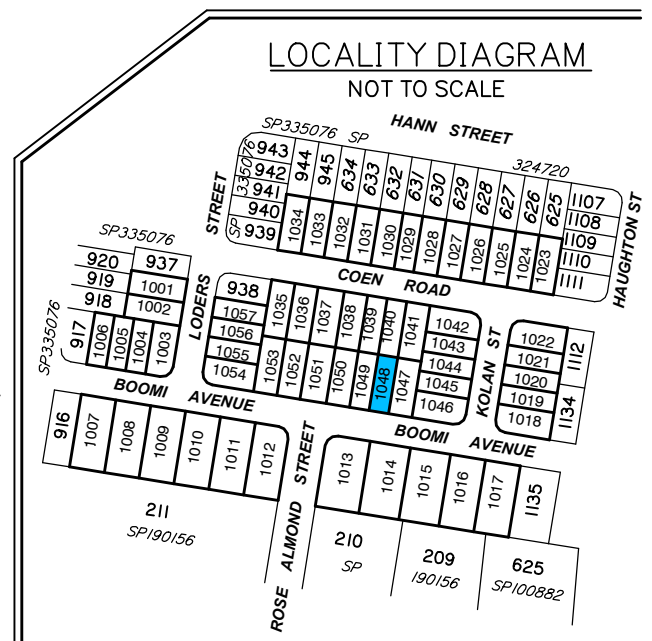
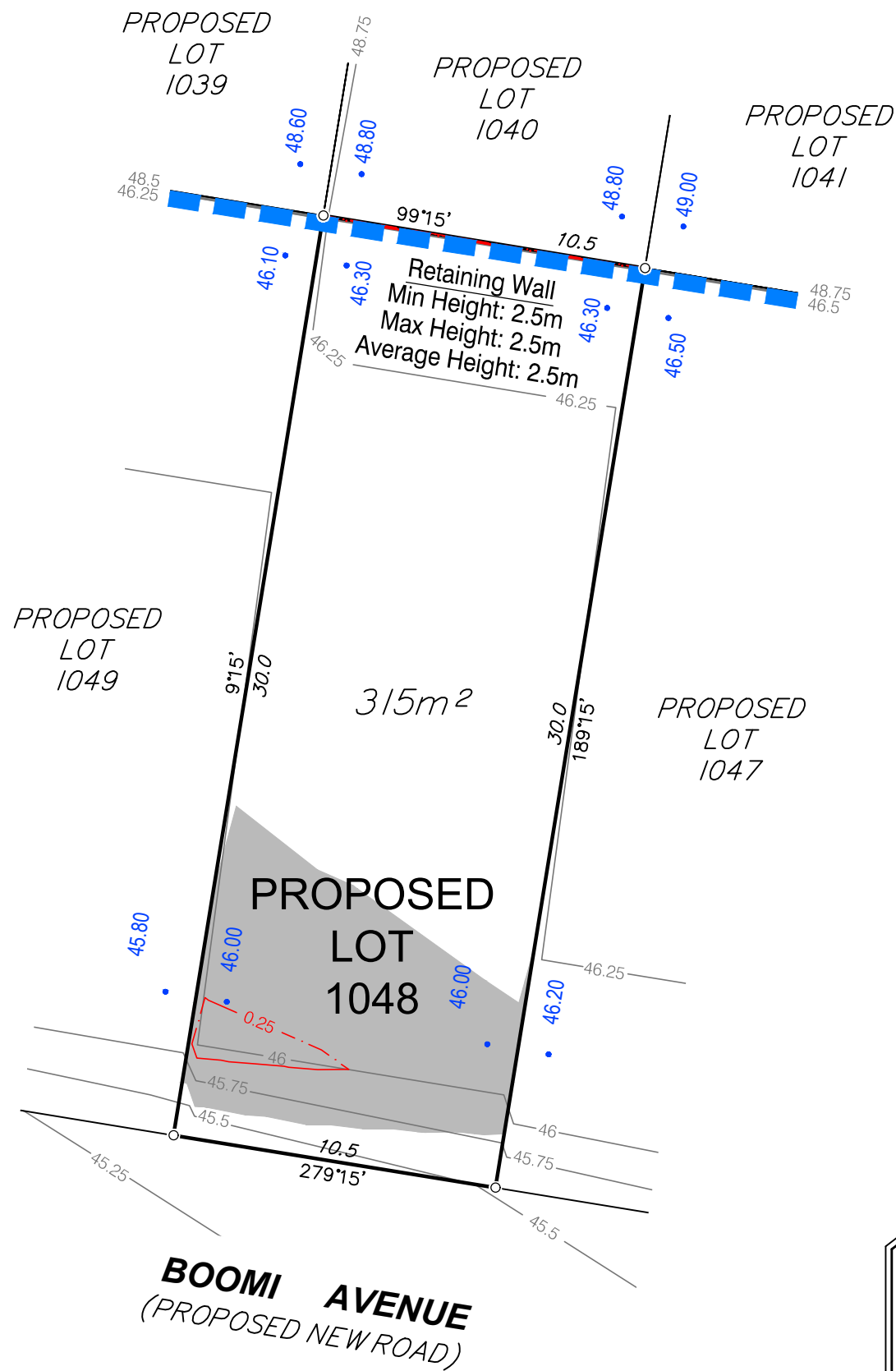
UDN
BRSS7455 - 010 - 052 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1048

This plan shows:

Details of Proposed Lot 1048 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

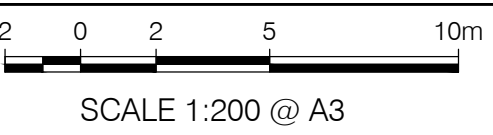
LANDPARTNERS
 surveyors and planners

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 E: info@landpartners.com.au
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 AS/NZS 4801 Occupational Health and Safety Management Systems CERTIFIED

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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished Surface Levels (FSL): • 36.80

NOTE:
 This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

UDN
BRSS7455 - 010 - 053 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1049

This plan shows:

Details of Proposed Lot 1049 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
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Milton Qld 4064

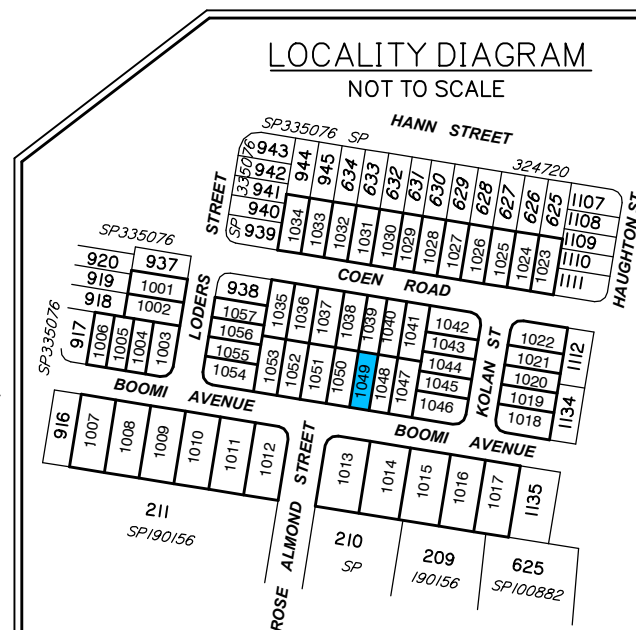
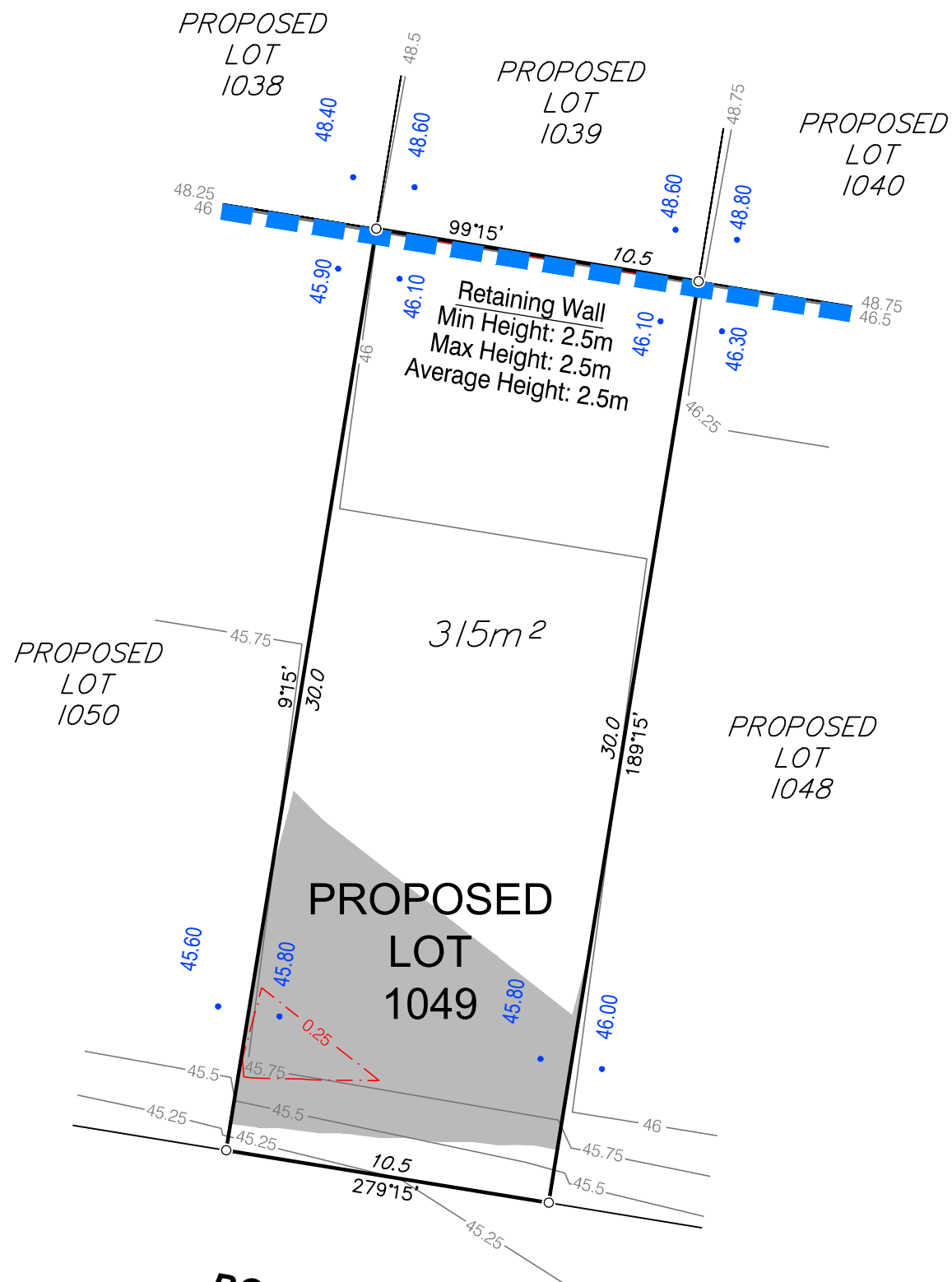
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SCALE 1:200 @ A3

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| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

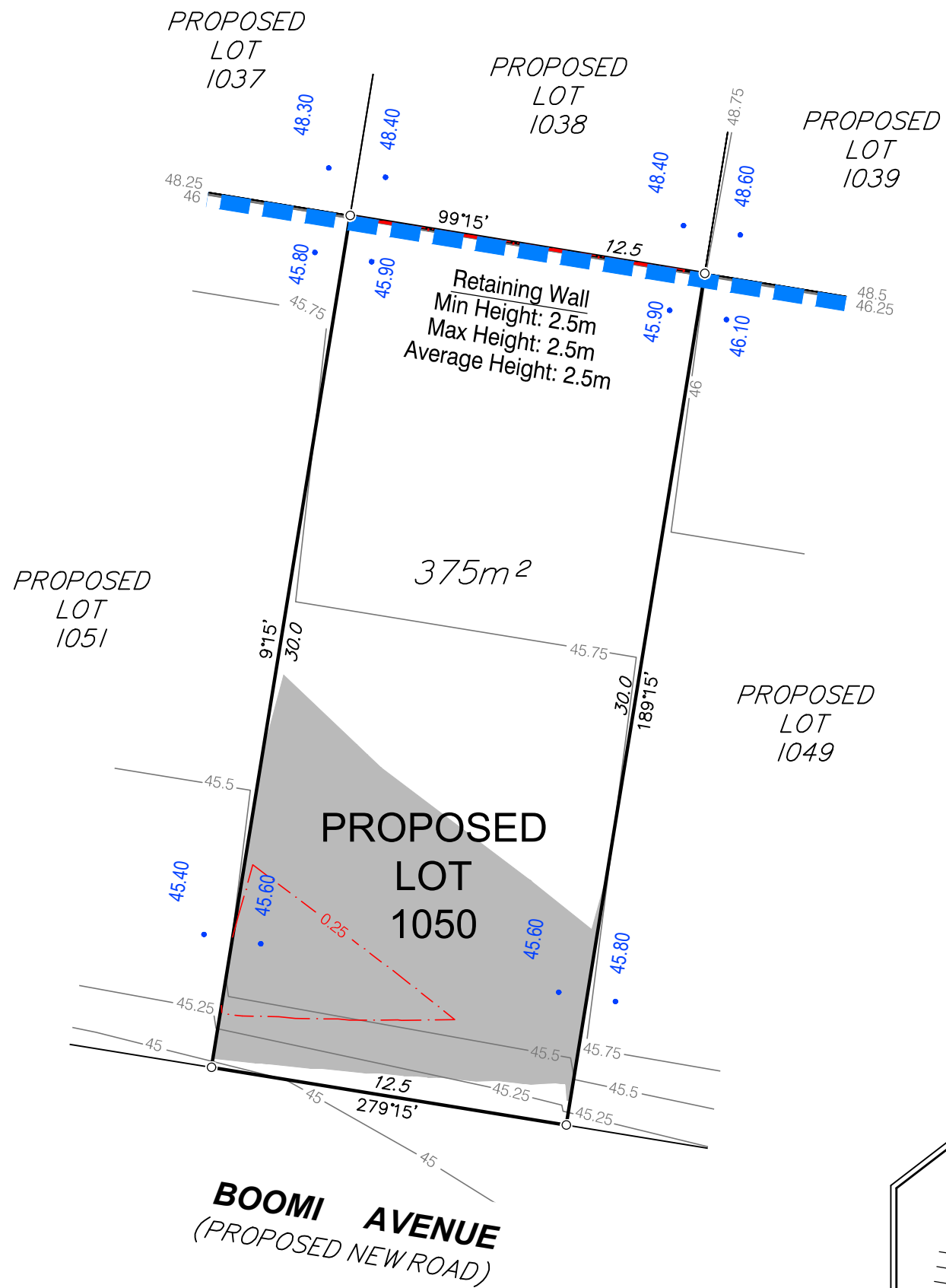
UDN
BRSS7455 - 010 - 054 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1050

This plan shows:

Details of Proposed Lot 1050 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

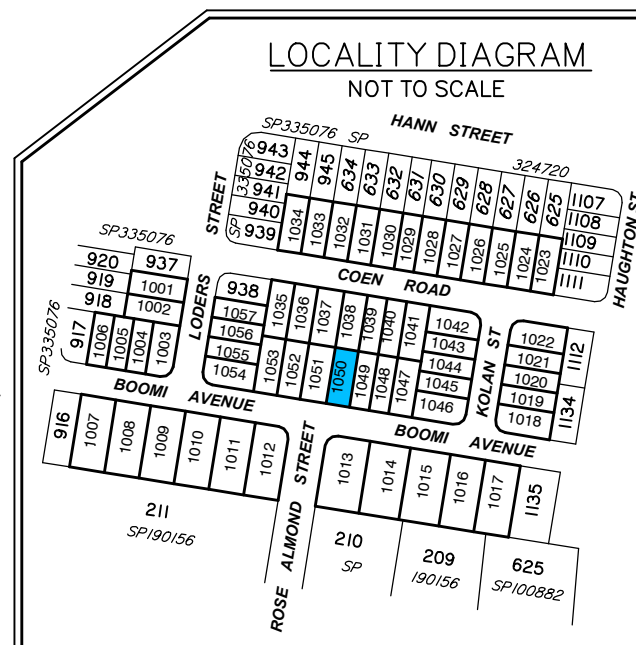
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

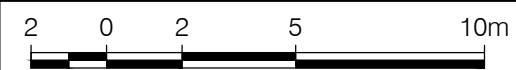
Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



Brisbane Office
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Milton Qld 4064

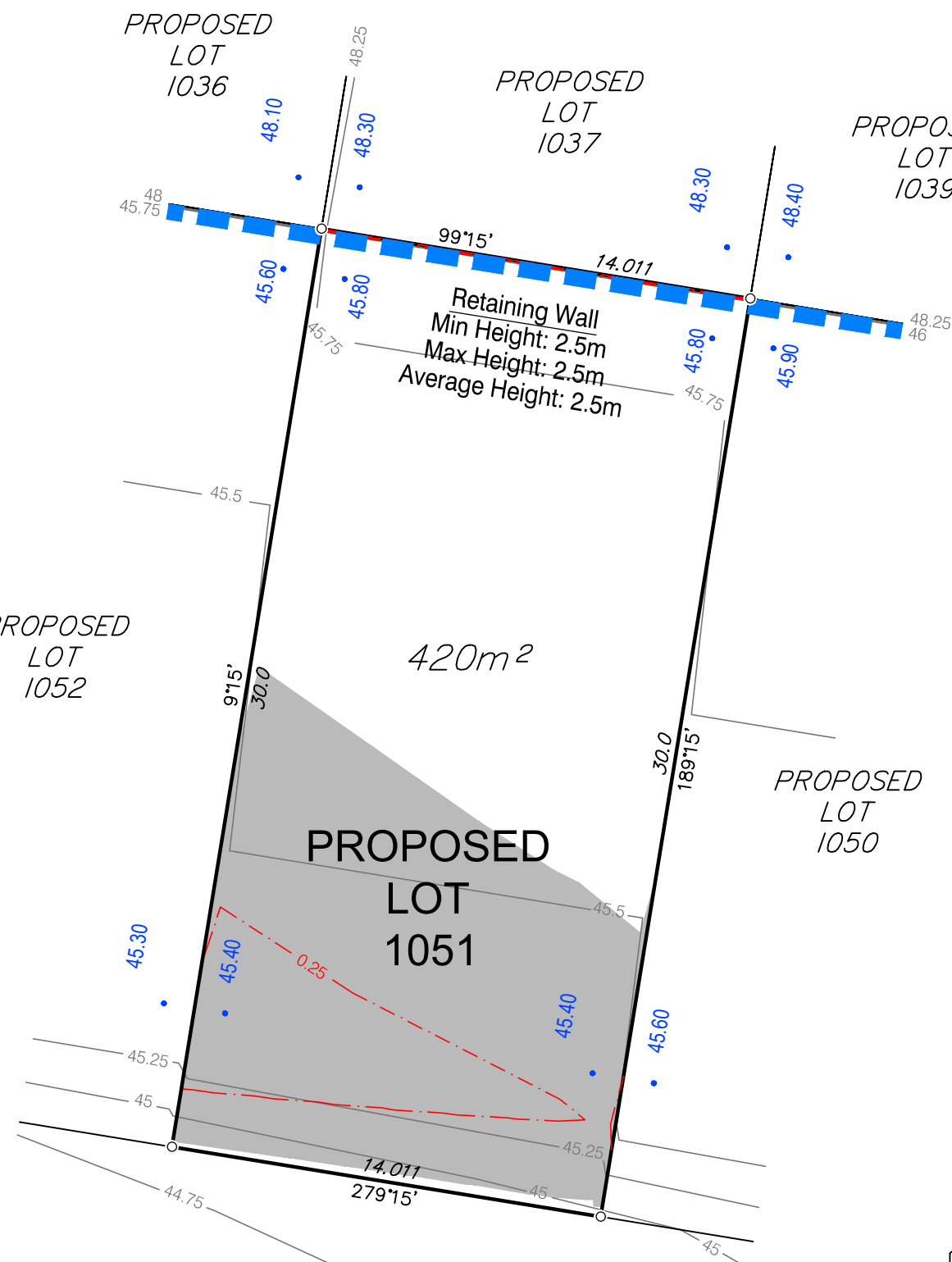
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SCALE 1:200 @ A3

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| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 055 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1051

This plan shows:

Details of Proposed Lot 1051 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

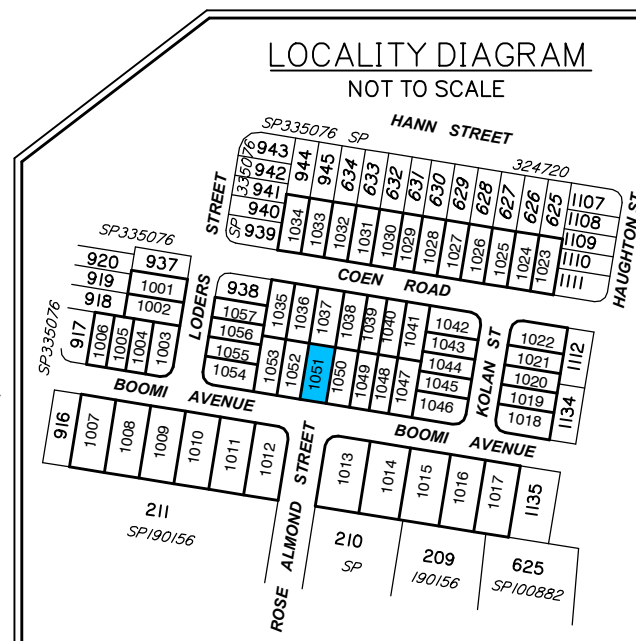
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
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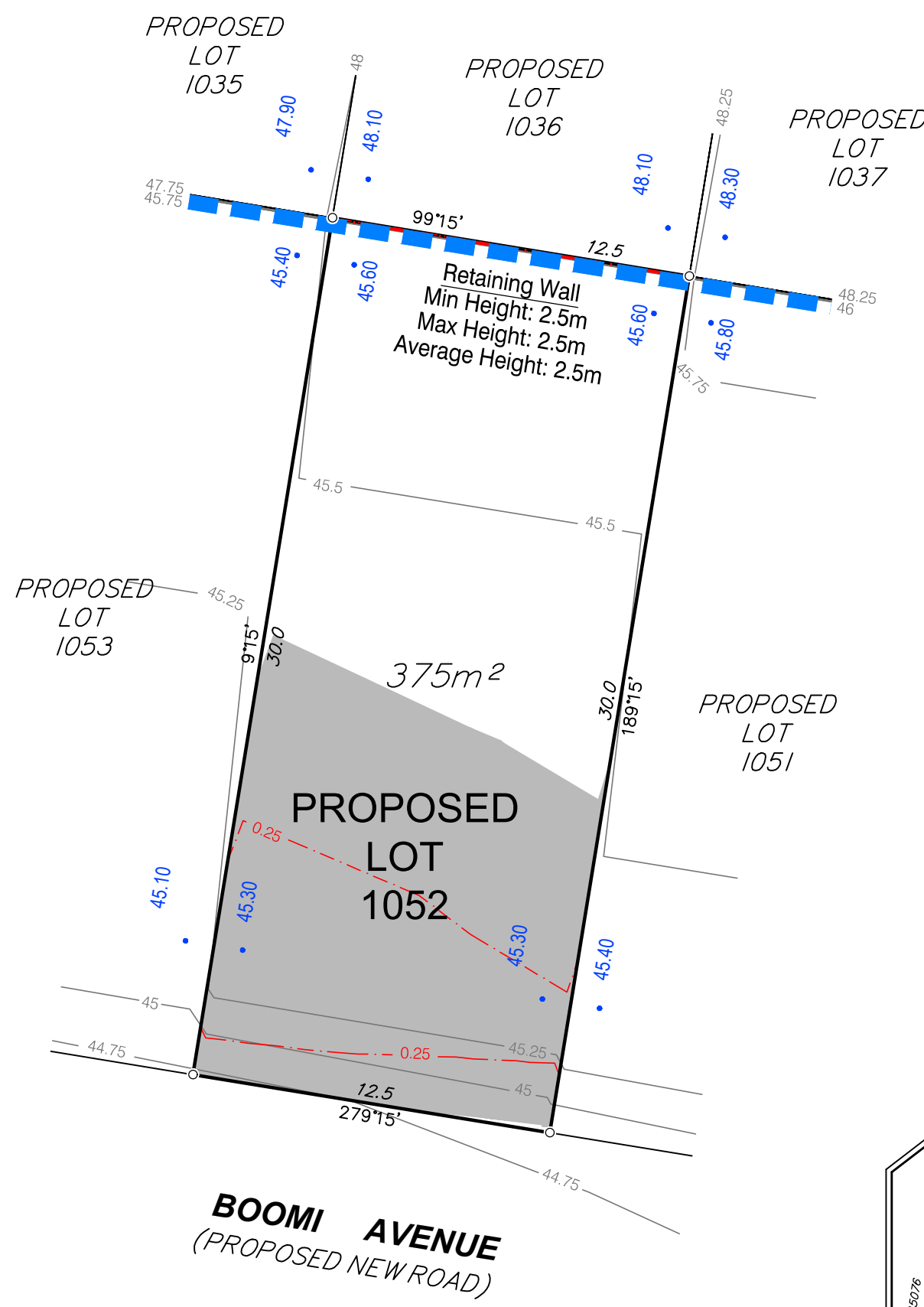
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W: www.landpartners.com.au



SCALE 1:200 @ A3

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|---------------|--------------------|------|------------|
| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
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| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

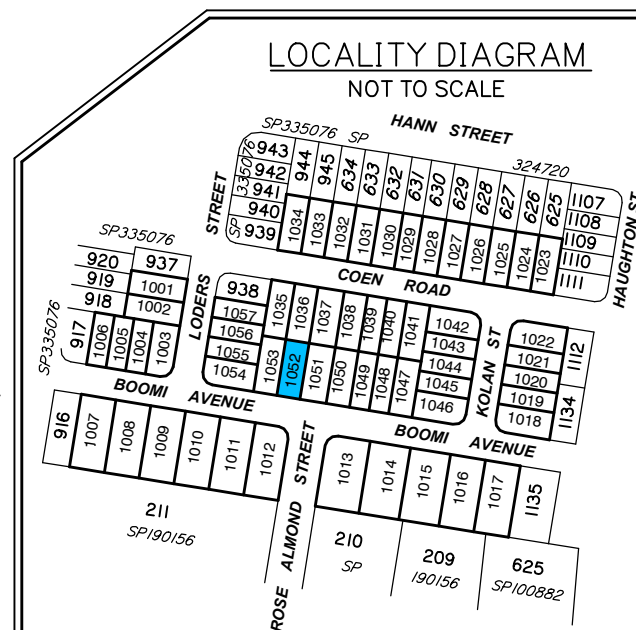
UDN
BRSS7455 - 010 - 056 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished Surface Levels (FSL): • 36.80

NOTE:
 This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1052

This plan shows:
 Details of Proposed Lot 1052 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

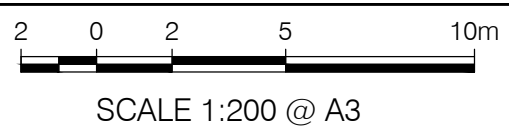
Project:
**PEBBLE CREEK
 STAGE 10**

Client:
**ORCHARD (PEBBLE CREEK)
 DEVELOPMENTS PTY LTD**

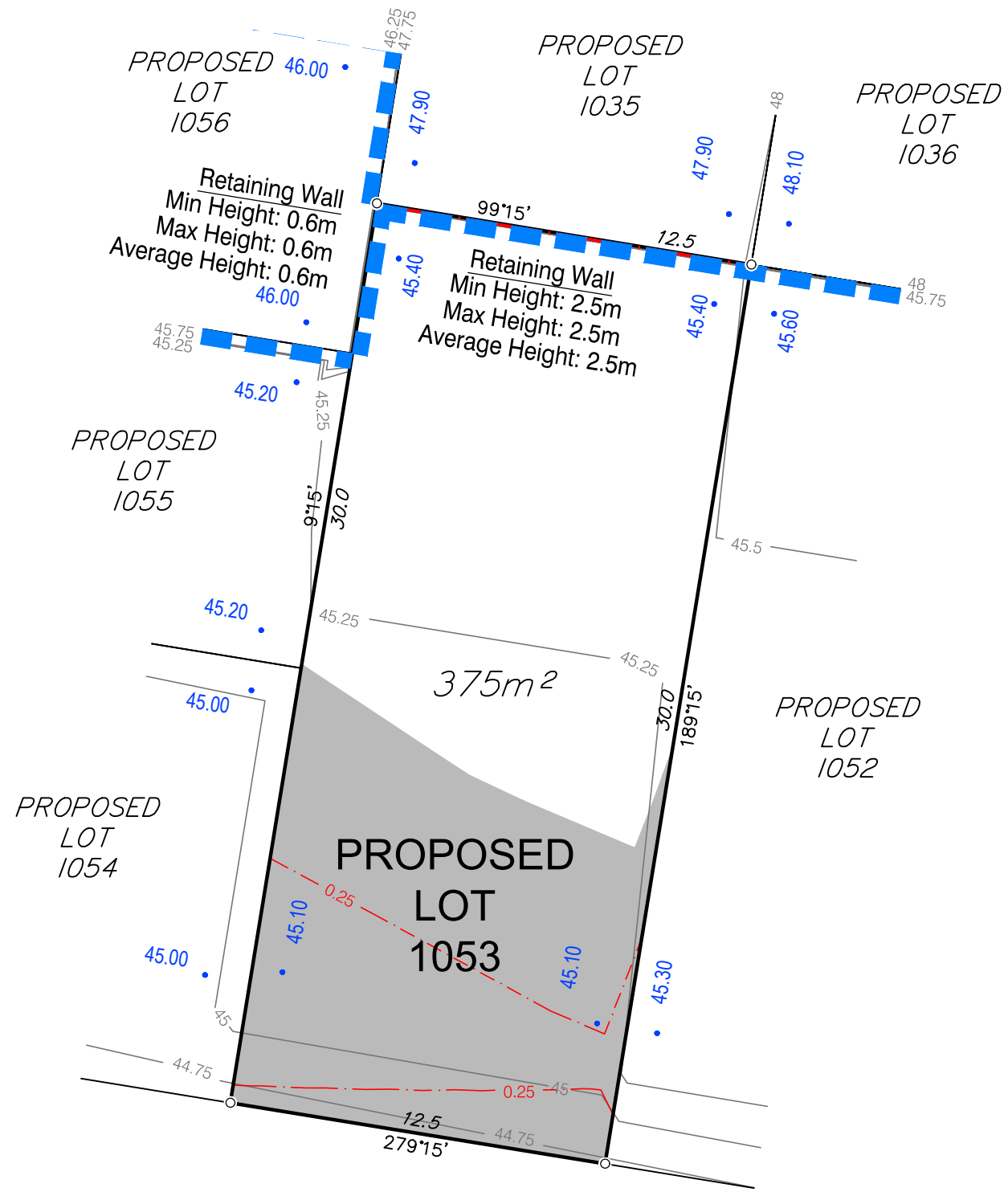
Brisbane Office
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 18 Little Cribb Street
 Milton Qld 4064
 PO Box 1399
 Milton Qld 4064

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 E: info@landpartners.com.au
 W: www.landpartners.com.au

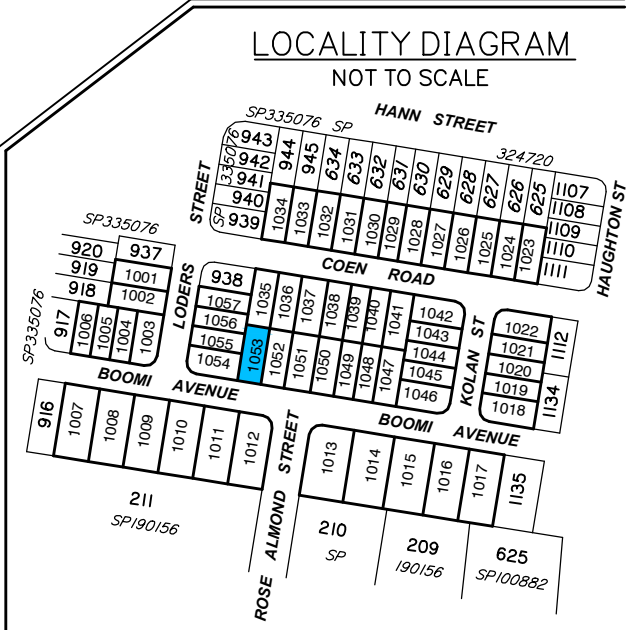
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| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



UDN
BRSS7455 - 010 - 057 - 1



BOOMI AVENUE
(PROPOSED NEW ROAD)



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1053

This plan shows:

Details of Proposed Lot 1053 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

**PEBBLE CREEK
STAGE 10**

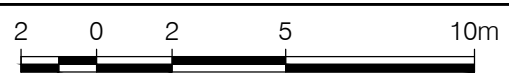
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 058 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1054

This plan shows:

Details of Proposed Lot 1054 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

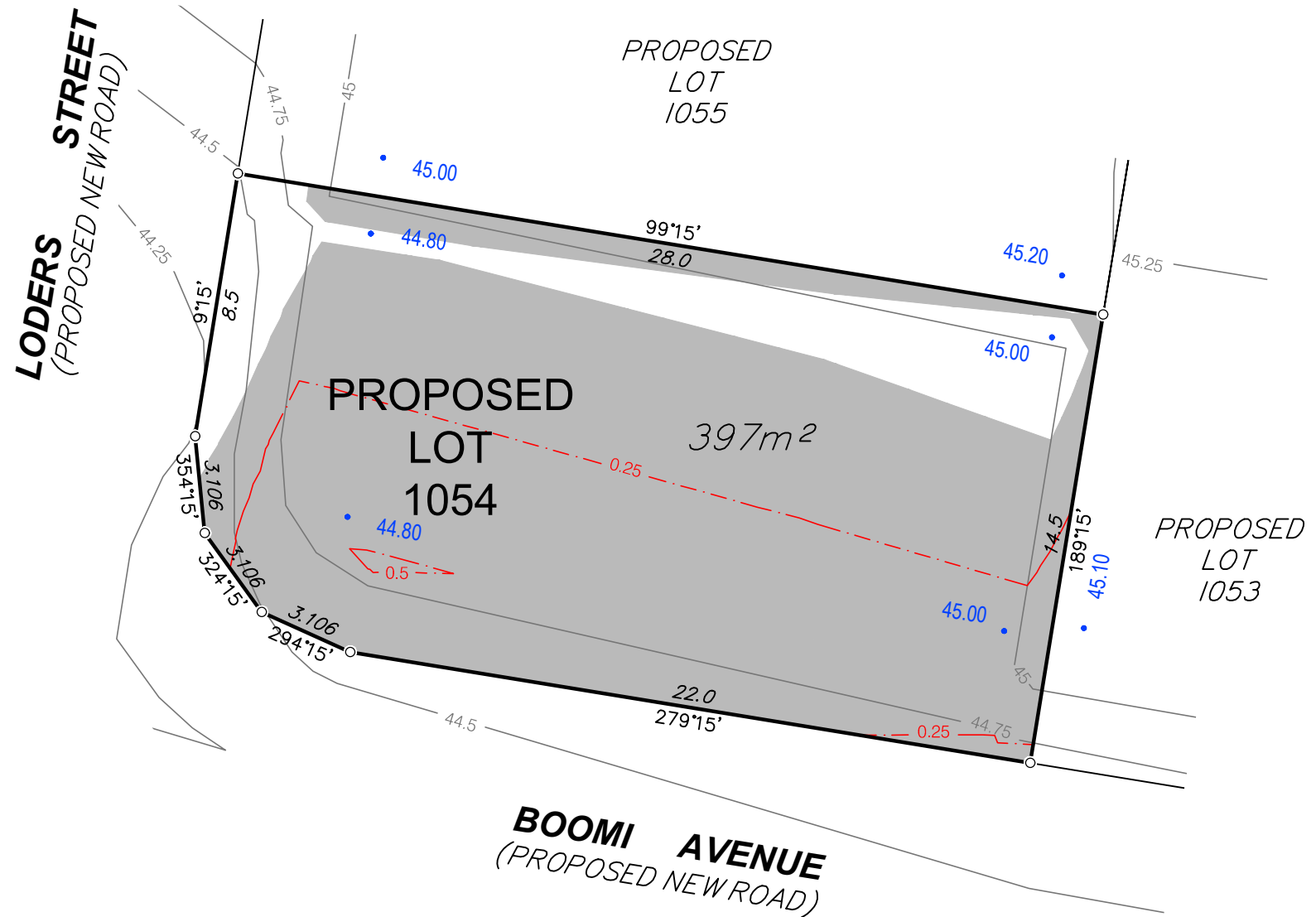
Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

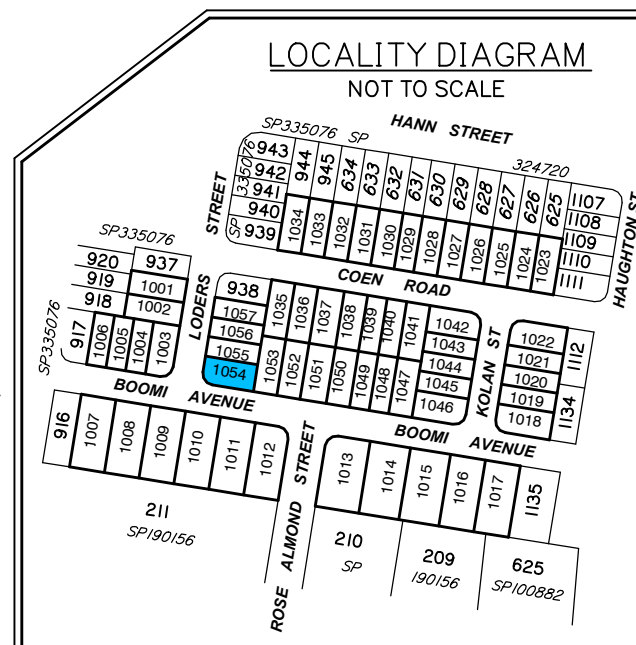
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



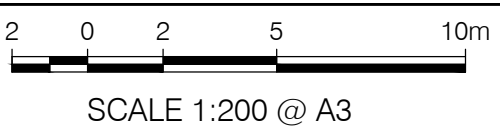
Project: **PEBBLE CREEK STAGE 10**

Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

Brisbane Office
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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |



UDN
BRSS7455 - 010 - 059 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1055

This plan shows:

Details of Proposed Lot 1055 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



Brisbane Office
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Milton Qld 4064
PO Box 1399
Milton Qld 4064

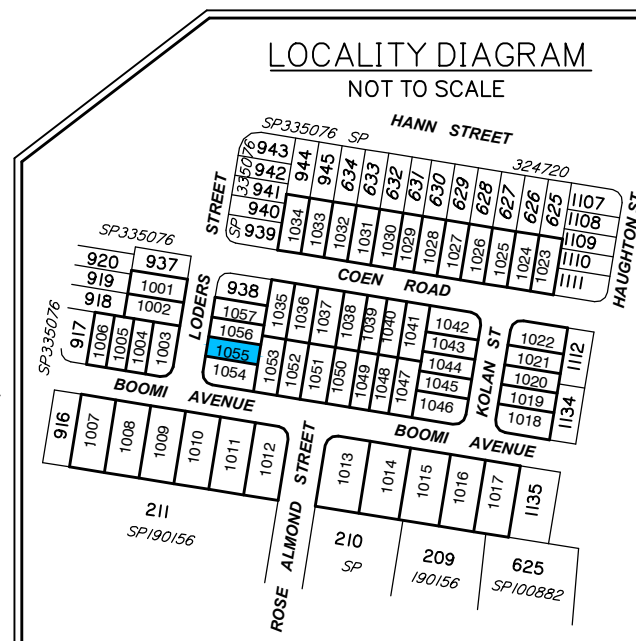
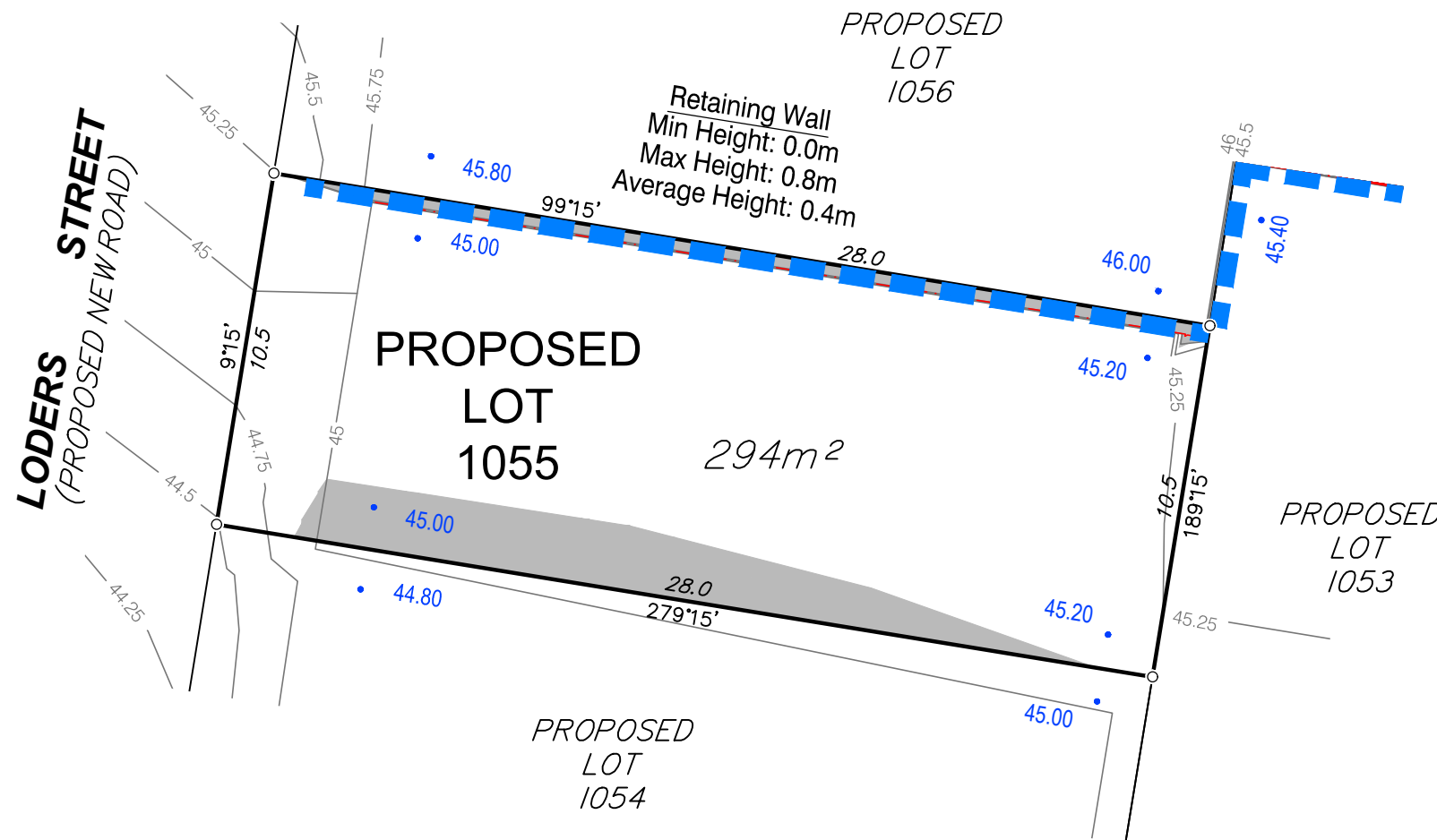
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W: www.landpartners.com.au



SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 060 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1056

This plan shows:

Details of Proposed Lot 1056 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 48.25

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

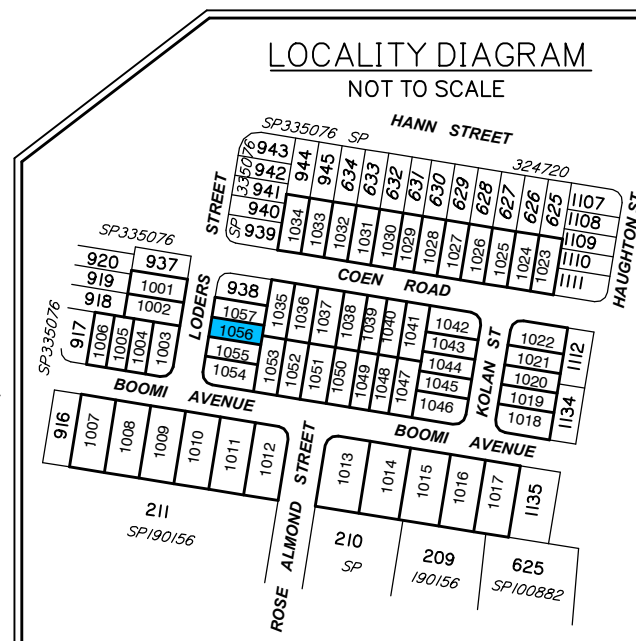
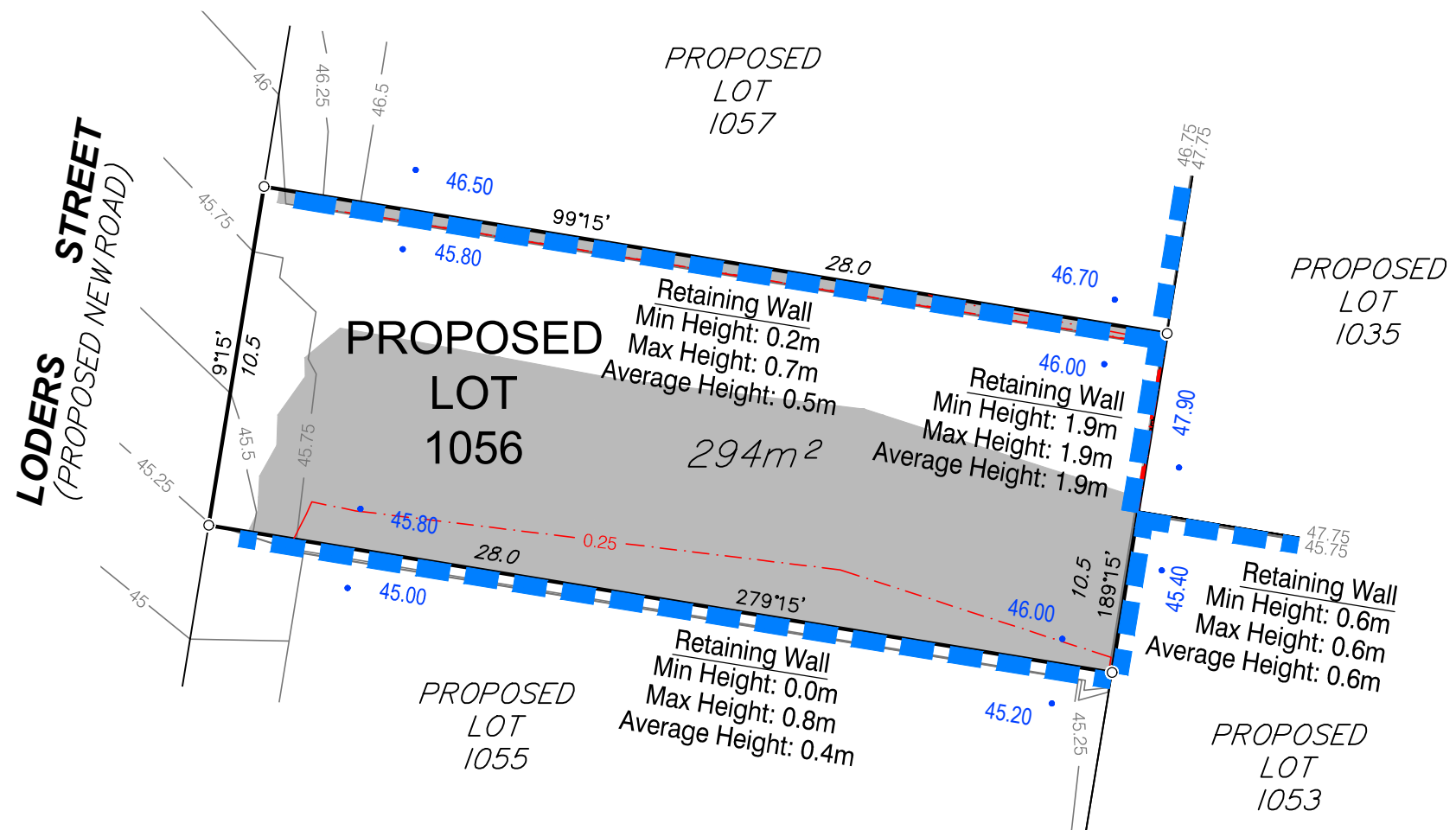
Fill ranges in depth from 0.0m to 1.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

Project: **PEBBLE CREEK STAGE 10**

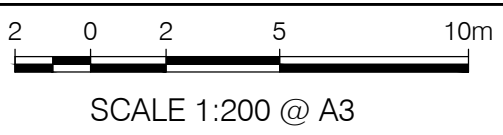
Client: **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

LANDPARTNERS
surveyors and planners

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RGA | DATE | 17/08/2023 |




UDN
BRSS7455 - 010 - 061 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 1057

This plan shows:


Details of Proposed Lot 1057 on the Approved Staging Plan 9282 P 02 Rev P STG 10 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: 


Retaining Walls are shown as: 

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: 

Fill ranges in depth from 0.0m to 1.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Peak Urban on 10 August 2023.

Project:

PEBBLE CREEK STAGE 10

Client:

ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



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Milton Qld 4064
PO Box 1399
Milton Qld 4064

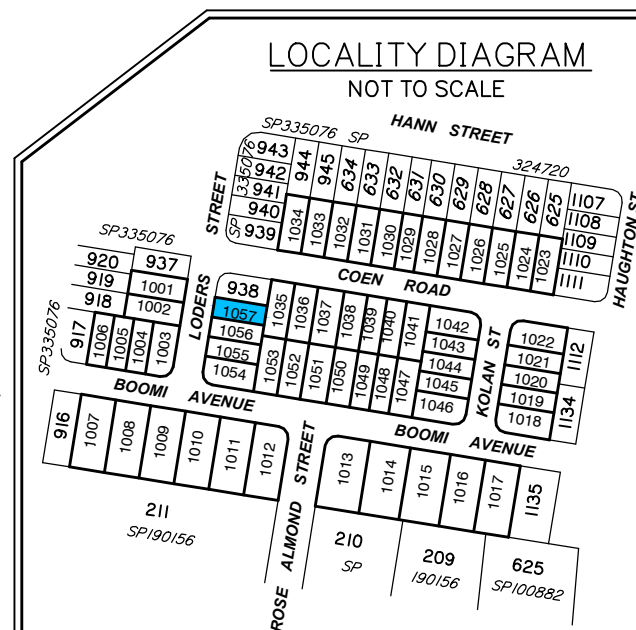
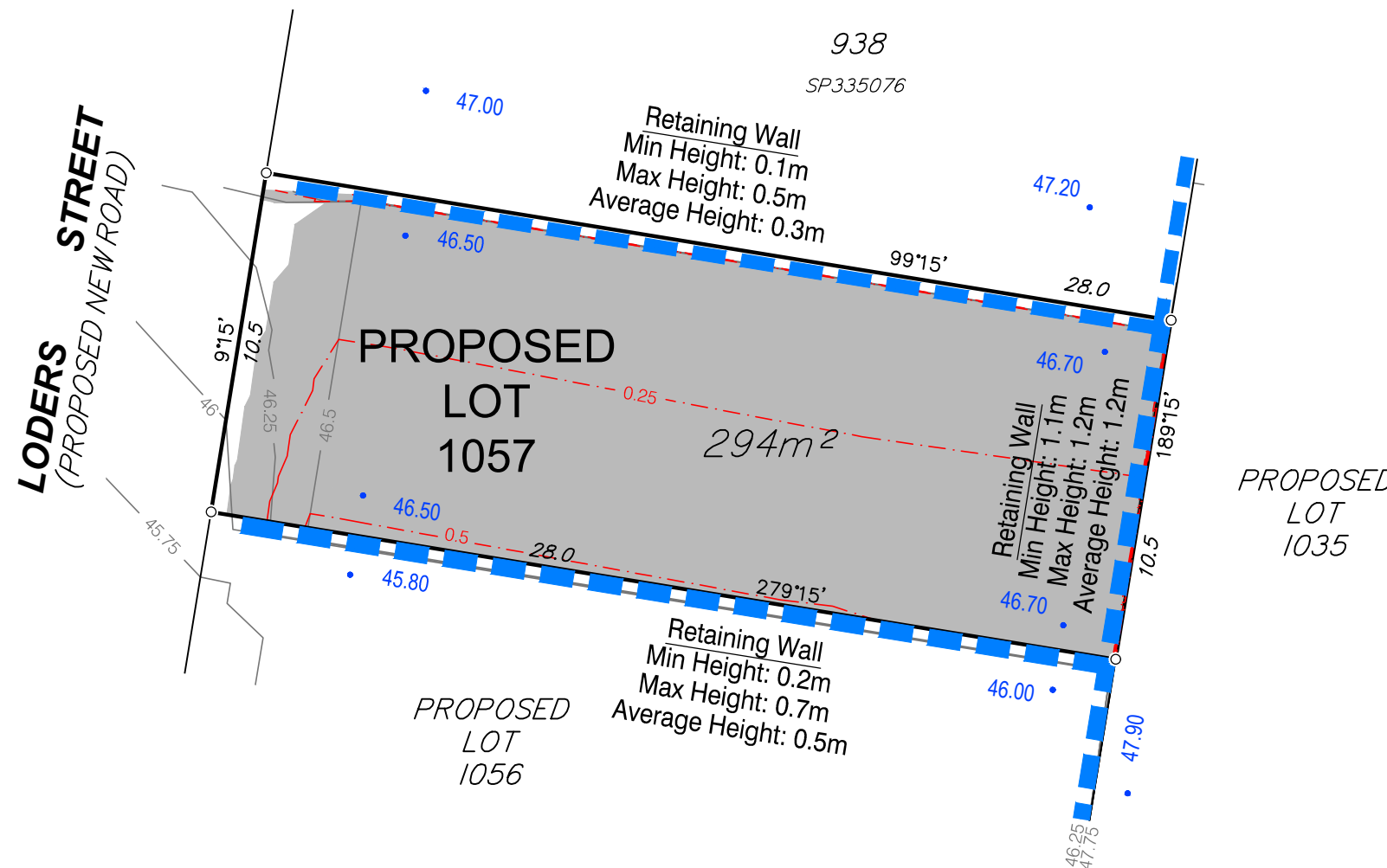
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SCALE 1:200 @ A3

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| LEVEL DATUM | AHD | | |
| LEVEL ORIGIN | PSM165225 RL38.006 | | |
| COMPUTER FILE | BRSS7455-010-5-1 | | |
| SCALE | 1:200 | | |
| DRAWN | KDM | DATE | 17/08/2023 |
| CHECKED | SHL | DATE | 17/08/2023 |
| APPROVED | RG | DATE | 17/08/2023 |

UDN
BRSS7455 - 010 - 062 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.